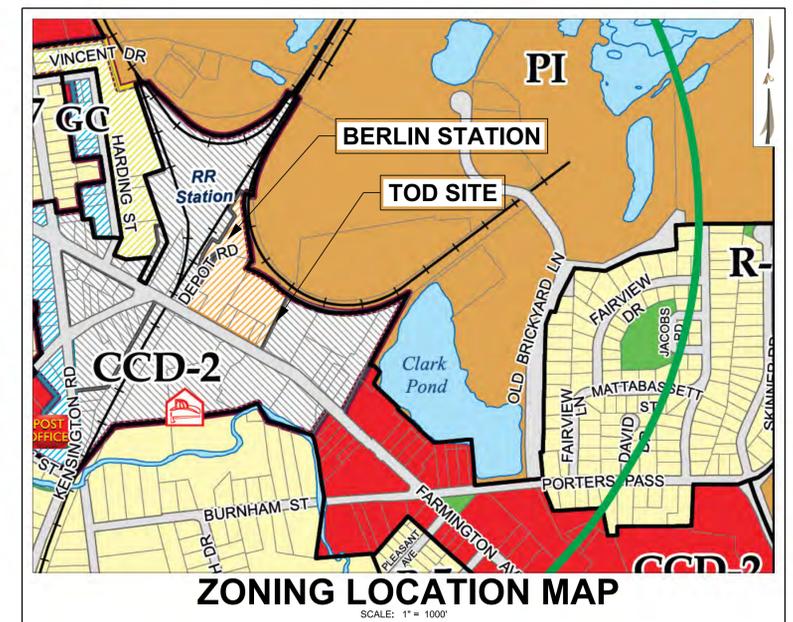
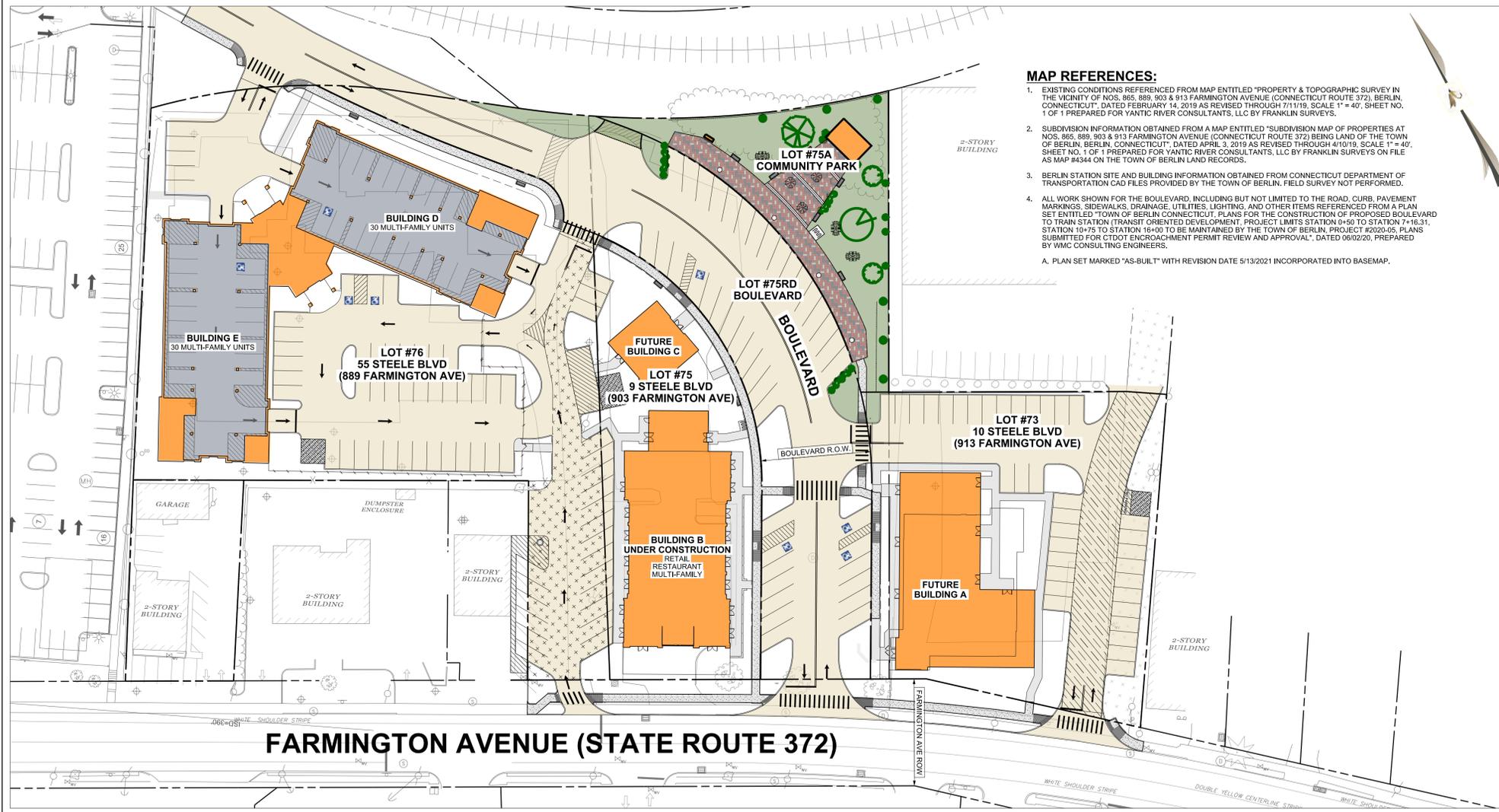
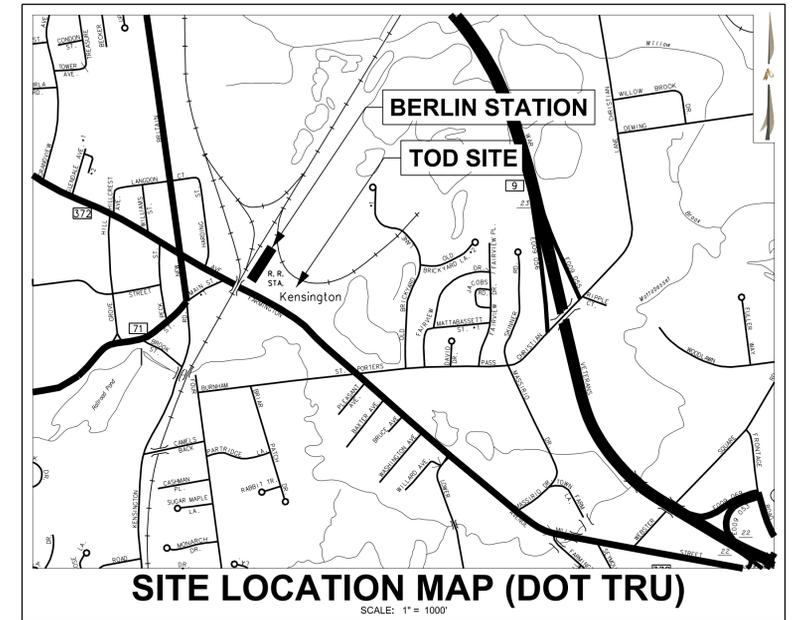


STEELE CENTER @ FARMINGTON AVE. TOD COMMUNITY PARK

STEELE BOULEVARD, MAP 9-2 / BLOCK 76, LOT 75A SITE PLAN SET

PREPARED FOR

TOWN OF BERLIN
240 KENSINGTON ROAD
BERLIN, CT 06037



INDEX OF SHEETS

DESCRIPTION	SHEET NUMBER
TITLE SHEET	01
PARK LAYOUT PLAN	02
GRADING, DRAINAGE & UTILITY PLAN	03
LANDSCAPE & LIGHTING PLAN	04
EROSION & SEDIMENTATION CONTROL PLAN	05
DETAILS	06-07
PAVILION DETAILS	08

SCALE: 1" = 40'

PROJECT NUMBER:
00060 - 002

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STEELE CENTER @ FARMINGTON AVE. TOD
COMMUNITY PARK

PREPARED FOR
TOWN OF BERLIN

TITLE SHEET

STEELE BOULEVARD
BERLIN, CT

REVISION SUMMARY		SHEET
DATE	DESCRIPTION	1 OF 8
8/12/22	PREPARED FOR TOWN OF BERLIN	DATE
	TITLE SHEET	REVISED

ZONING TABLE

ZONING DISTRICT: COMMERCIAL CORE DESIGN DISTRICT CCD-2 (SECTION V.J)
 SPECIAL USE ZONE: KENSINGTON OVERLAY ZONE - VILLAGE CORE AREA 1 (SECTION VIII.F) [1]

USE: COMMUNITY PARK & PASSIVE RECREATION ASSOCIATED WITH TOD

LOT (ADDRESS)	REQUIRED	AREA (SF)	AREA (ACRE)
LOT #76 (889 FARMINGTON)	-	67,300	1.54
LOT #75 (903 FARMINGTON)	-	22,900	0.53
LOT #75A (TOWN OPEN SPACE)	-	12,500	0.29
LOT #75RD (BOULEVARD)	-	30,600	0.70
LOT #73 (913 FARMINGTON)	-	33,400	0.77
861 FARMINGTON	-	8,400	0.19
TOTAL LOT AREA	2.0 AC. MIN.	175,100 SF	4.02 ACRE [2]

BUILDING DIE AREA & BULK TABLE - LOT 75A COMMUNITY PARK	REQUIRED	EXISTING	PROPOSED	NOTES
FRONT YARD	5 FT	N/A	62 FT	COMPLIES
SIDE YARD	10 FT	N/A	11 FT	COMPLIES
REAR YARD	20 FT	N/A	N/A	COMPLIES
PARKING SIDE/REAR	0 FT	N/A	N/A	COMPLIES
PARKING FRONT	10 FT	N/A	N/A	COMPLIES
BLDG. COVERAGE	50%	N/A	3.1% (384 SF)	COMPLIES
IMP. COVERAGE	90%	N/A	37.6% (4706 SF)	COMPLIES
BUILDING STORIES	4	N/A	1	COMPLIES
BUILDING HEIGHT	60 FT	N/A	<60 FT	COMPLIES

ZONING TABLE NOTES:

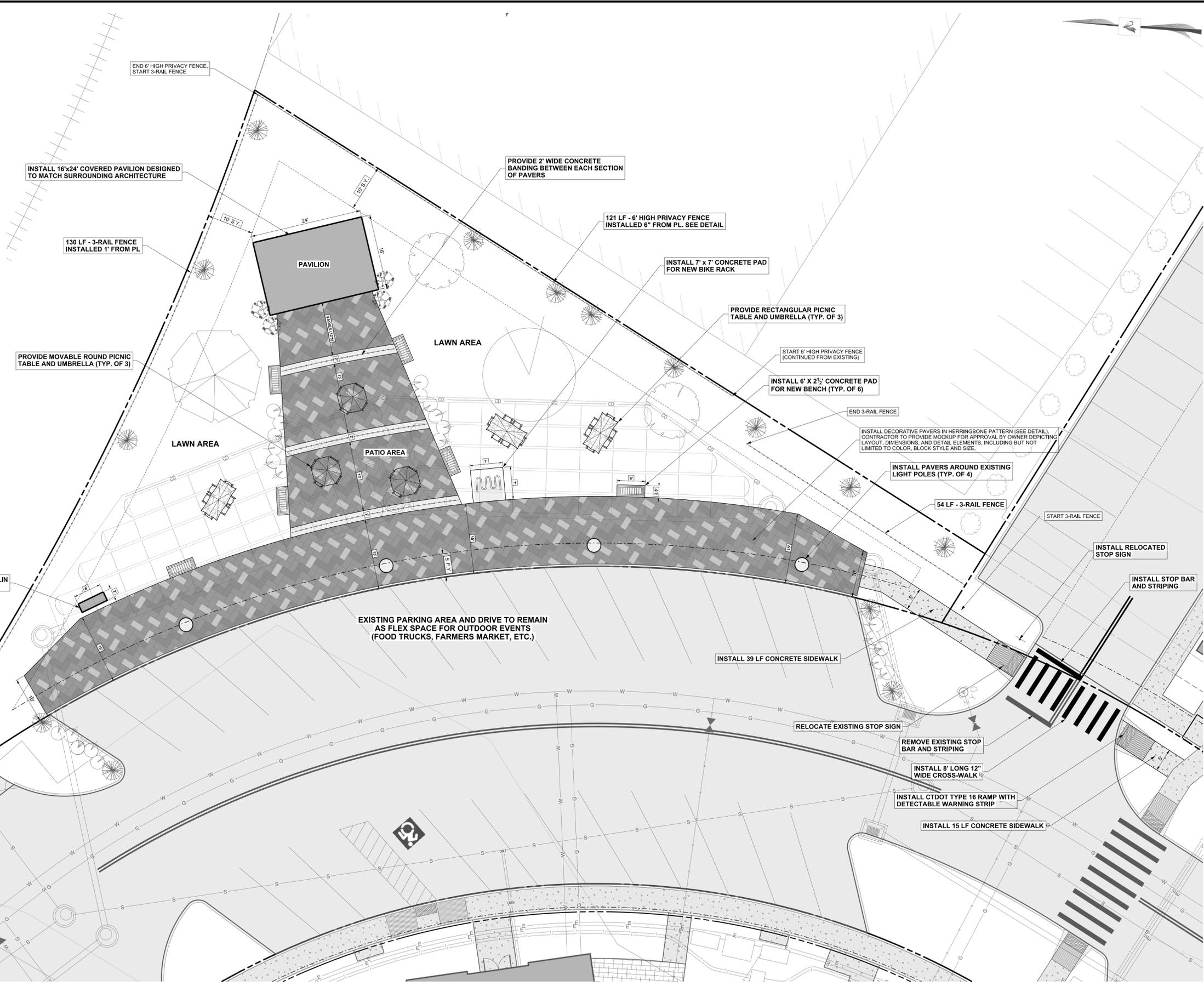
- PARK PARCEL ON STEELE BOULEVARD (0 FARMINGTON AVE.) REZONED TO THE KENSINGTON OVERLAY ZONE - VILLAGE CORE AREA 1 AT THE JANUARY 10, 2019 BERLIN PLANNING & ZONING COMMISSION MEETING.
- IN ACCORDANCE WITH SECTION VIII.F.3.a)(6) THE TOTAL AREA INCLUDED IN THE CALCULATION OF RESIDENTIAL DENSITY INCLUDES MULTIPLE LOTS AS THEY ARE ALL PART OF A UNIFIED SITE PLAN.

GENERAL SITE NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION FORM 818 AS APPLICABLE.
- ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT, FACE OF CURBS, OUTSIDE FACE OF THE BUILDING OR OTHER LIMITS AS DEPICTED ON THE PLAN.
- THE PROPOSED PARKING FACILITIES ARE GENERALLY PERPENDICULAR TO OR PARALLEL WITH THE PROPOSED BUILDING(S), BOULEVARD, OR AS DEPICTED ON THE PLAN.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER.
- CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
- ALL DISTURBED AREAS SHALL BE SEEDED OR SODDED AFTER FINISH GRADING IS COMPLETED UNLESS OTHERWISE NOTED. ALL NEW SEEDED OR SODDED AREAS SHALL HAVE A TOPSOIL LAYER OF 4" MINIMUM OR AS DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT. TOP OF TOPSOIL LAYER SHALL BE PLACED 1" BELOW TOPS OF CURBS, WALKS, OR PAVEMENT ELEVATIONS WHERE TOPSOIL ADJUTS THOSE AREAS.
- CONTRACTOR SHALL SUPPLY AND PLACE STRAW MULCH WHEREVER GRASS SEED HAS BEEN PLACED. SEED SHALL BE APPLIED AT THE MINIMUM RATE RECOMMENDED BY THE MANUFACTURER OR THE PROJECT LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH FORM 818 OR THE TOWN OF BERLIN STANDARDS WHERE NEW ASPHALT JOINS EXISTING ASPHALT.
- CONTRACTOR SHALL REPAIR, RESURFACE, RECONSTRUCT OR REFURBISH ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS SUBCONTRACTORS OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL COMPLETELY FILL ALL TRENCHES WITHIN 5 FEET OF PAVEMENT EDGES WITH GRANULAR BACKFILL. REFER TO GEOTECHNICAL REPORT FOR TYPE OF FILL TO ACHIEVE DESIRED COMPACTION.
- ALL PAINT STRIPING SHALL BE 4" TRAFFIC PAINT IN ACCORDANCE WITH FORM 818 AND SHALL BE WHITE OR YELLOW AS DEPICTED ON THE PLANS.
- CONTRACTOR TO CONFIRM WITH LOCAL CODES AND BUILDING INSPECTOR FOR SPECIFIC HANDICAPPED ACCESSIBLE PARKING SPACE DIMENSIONS, STRIPING AND SIGNAGE REQUIREMENTS.
- GENERAL CONTRACTOR TO INSTALL & LOCATE CLEANOUTS PER PLUMBING PLANS AND SPECIFICATIONS.

BOULEVARD & FARMINGTON AVE. R.O.W. NOTES

- ALL WORK WITHIN THE FARMINGTON AVENUE R.O.W. AND BOULEVARD R.O.W. CONSTRUCTED UNDER SEPARATE CONTRACT. SEE MAP REFERENCE 4 ON SHEET 1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD FOR RECENTLY CONSTRUCTED ELEMENTS.
- AT TIMES WORK ON THE BOULEVARD, FARMINGTON AVE. IMPROVEMENTS, ENVIRONMENTAL REMEDIATION, AND/OR ADJACENT TOD PRIVATE DEVELOPMENT WORK MAY COINCIDE WITH PARK CONSTRUCTION. CONTRACTOR TO COORDINATE WORK, ACCESS, AND SCHEDULES AS REQUIRED.



SCALE: 1" = 10'

PROJECT NUMBER:
00060 - 002



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STEEL CENTER @ FARMINGTON AVE. TOD
 COMMUNITY PARK
 PREPARED FOR
 TOWN OF BERLIN
 SITE LAYOUT PLAN

STEEL BOULEVARD
 BERLIN, CT

REVISION SUMMARY	
DATE	DESCRIPTION

SHEET	2 OF 8
DATE	8/12/22
REVISED	

UTILITY STATEMENT

UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTED UTILITY COMPANIES OR GOVERNMENT AGENCIES. PAROLE TESTIMONY, FIELD SURVEY AND OTHER SOURCES. THE SURVEYOR AND THIS PLAN SET MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455, IN ACCORDANCE WITH CBYD NOTIFICATION PROCEDURES PRIOR TO COMMENCING WORK.

GENERAL GRADING NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION FORM 818 AS APPLICABLE. WORK WITHIN THE ROAD RIGHT-OF-WAYS SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF BERLIN OR STATE OF CONNECTICUT STANDARDS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER/REPRESENTATIVE IMMEDIATELY.
- THE EXCAVATING CONTRACTOR SHALL TAKE PARTICULAR CARE WHEN EXCAVATING IN AND AROUND EXISTING UTILITY LINES AND EQUIPMENT. VERIFY COVER REQUIREMENTS BY UTILITY COMPANIES SO AS NOT TO CAUSE DAMAGE.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS BEFORE CONSTRUCTION IS TO START, OR AS REQUIRED BY THE GOVERNING UTILITY COMPANY, TO VERIFY IF ANY UTILITIES ARE PRESENT ON SITE. ALL VERIFICATIONS (LOCATION, SIZE AND DEPTH) SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES. WHEN EXCAVATING IN, AROUND OR OVER UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY COMPANY SO A REPRESENTATIVE IS PRESENT TO INSTRUCT AND OBSERVE.
- TRENCHES FOR ALL STORM DRAIN LINES SHALL BE BACKFILLED COMPLETELY WITH ENGINEERED GRANULAR MATERIAL IF WITHIN 5 FEET OF PAVEMENT.
- AFTER STRIPPING TOPSOIL MATERIAL, PROOFROLL WITH A MEDIUM WEIGHT ROLLER TO DETERMINE LOCATIONS OF ANY POCKETS OF UNSUITABLE MATERIAL. THE NECESSITY FOR SUBDRAINS AND/OR REMOVAL OF ANY UNSUITABLE MATERIAL WITHIN THE PROPOSED BUILDING OR PARKING AREAS WILL BE DETERMINED AT THE TIME OF CONSTRUCTION.
- PROVIDE POSITIVE DRAINAGE WITHOUT PONDING. CONTRACTOR TO TEST FOR AND CORRECT ANY "BIRD BATH" CONDITIONS.
- ALL PROPOSED SPOT ELEVATIONS ARE THE FINAL PAVEMENT AND FINAL GRADE ELEVATIONS.
- SEE APPROPRIATE DETAILS TO DETERMINE SUBGRADE ELEVATIONS BELOW FINISH GRADE INDICATED ON THE PLANS.
- EXTRACTION, GRADING, FILLING AND/OR PROCESSING SHALL NOT INVOLVE THE REMOVAL OR DEPOSITION OF MORE MATERIAL(S) THAN NECESSARY TO ACCOMMODATE THE PROPOSED DEVELOPMENT. MAINTAIN STABILITY AND MAINTENANCE OF GRADED AREAS UPON COMPLETION OF SITE WORK, AND MAINTAIN NO ADVERSE IMPACT ON ADJUTING PROPERTIES, THE PUBLIC RIGHT OF WAY, PUBLIC SAFETY, NOR NATURAL RESOURCES.

DRAINAGE

- STORMWATER RUNOFF FROM THE PARK WILL BE COLLECTED THROUGH A SERIES OF ROOF LEADERS & SWALES AND DIRECTED TO THE NORTHEAST TO MATCH EXISTING CONDITIONS.
- EXISTING BOULEVARD INFORMATION BASED ON AS-BUILT PLANS PREPARED BY WMC. SEE MAP REFERENCE 4A. CONTRACTOR SHALL VERIFY ALL LOCATIONS, DIMENSIONS, SIZES, AND DEPTHS IN FIELD.
- ALL PRIVATE STORMWATER DRAINAGE PIPING SHALL BE ADS N-12 ST 18 HDPE PIPE OR APPROVED EQUAL WITH A MIN. SLOPE OF 0.5% INSTALLED IN ACCORDANCE WITH ASTM D2321 AND THE MANUFACTURER'S GUIDELINES.
- ALL ROOF LEADERS AND FITTINGS SHALL BE PVC SDR-35 (ASTM D3034) AT 0.5% MINIMUM SLOPE AND 12" MINIMUM COVER UNLESS NOTED OTHERWISE. CONTRACTOR TO CONFIRM FINAL DOWNSPOUT LOCATIONS AND PROVIDE FITTINGS/CONNECTIONS AS REQUIRED. CONTRACTOR TO CONFIRM ALL UTILITY CROSSINGS AND ADJUST ROOF LEADER SLOPE. PROVIDE PROPER SEPARATION AND ENSURE POSITIVE DRAINAGE CAN BE PROVIDED.

GENERAL UTILITY NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MATERIAL SPECIFICATIONS AND INSTALLATION STANDARDS OF THE GOVERNING PUBLIC UTILITY. ALL TOWN REGULATIONS, AND APPLICABLE CODES FOR GAS, ELECTRIC, TELECOMMUNICATIONS, WATER, AND SEWER.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE AND ORDER ALL NEW SERVICES. LOCATE AND MAINTAIN IN SERVICE ALL EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION UNLESS OTHERWISE INDICATED ON THE DRAWINGS. ANY PIPING WHICH CAN BE REMOVED DURING CONSTRUCTION WITHOUT UNLQUE INTERRUPTION OF SERVICE MAY BE REMOVED AND REPLACED BY THE CONTRACTOR, AT HIS EXPENSE WITH THE PERMISSION OF THE OWNER.
- BEFORE WORKING WITH OR AROUND EXISTING UTILITIES, THE APPROPRIATE UTILITY COMPANY SHALL BE CONTACTED BY THE CONTRACTOR.
- WHEN CONNECTIONS ARE TO BE MADE TO EXISTING PIPING OR STRUCTURE OR WHERE CONSTRUCTION IS IN THE VICINITY OF EXISTING PIPING, THE LOCATION AND ELEVATION OF THE EXISTING PIPING SHALL BE FIELD VERIFIED. NOTIFICATION SHALL BE GIVEN TO THE OWNER IF THE FIELD VERIFICATION DIFFERS FROM THE INFORMATION ON THE DRAWINGS.
- FOR CLARITY PIPES MAY NOT BE DRAWN TO SCALE OR EXACTLY LOCATED.

SANITARY

- NO SANITARY UTILITIES ARE PROPOSED FOR THE PAVILION.

WATER

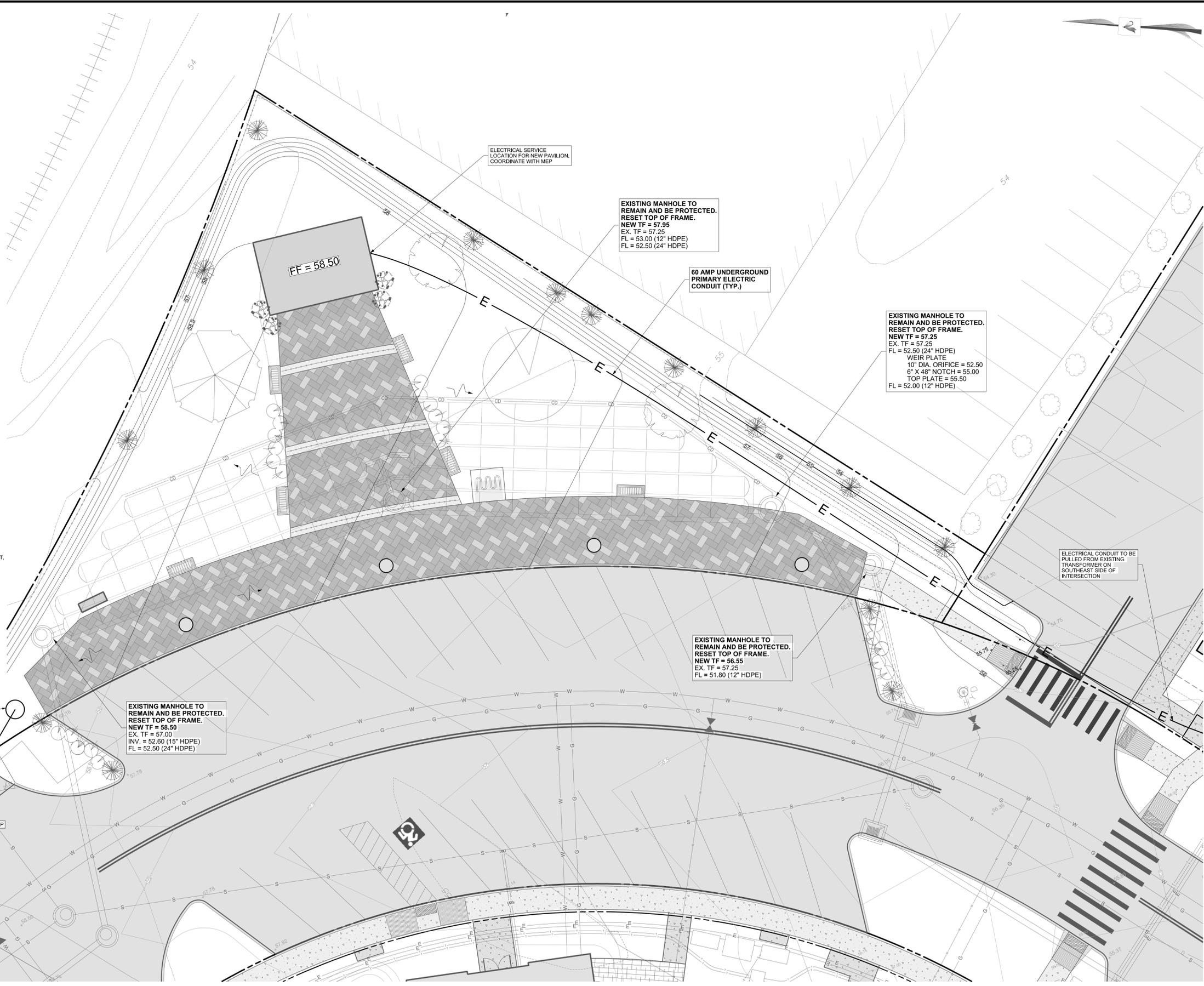
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE KENSINGTON FIRE DISTRICT, TOWN OF BERLIN, AND THE STATE OF CONNECTICUT, AS APPLICABLE.
- THE EXISTING 8" CLDIP STUB SHALL BE EXTENDED FOR CONNECTION OF AN IRRIGATION SERVICE WITH METER PIT. SIZE OF SERVICE, AND METER SHALL BE DETERMINED BY SPRINKLER DESIGN CONTRACTOR.
- COMMUNITY PARK LANDSCAPE AREAS SHALL BE SERVED BY AN AUTOMATED SPRINKLER SYSTEM DESIGN AND INSTALLED BY A PROFESSIONAL SPRINKLER CONTRACTOR. DESIGN AND LAYOUT INFORMATION SHALL BE PROVIDED TO THE TOWN FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

GAS

- NO GAS UTILITIES ARE PROPOSED FOR THE PAVILION.

ELECTRIC & TELECOMMUNICATIONS

- NEW ELECTRIC SERVICE TO PAVILION SHALL BE CONNECTED TO THE EXISTING UTILITIES INSTALLED IN THE BOULEVARD AS SHOWN ON PLANS. MINIMUM 60 AMP PAVILION ELECTRIC SERVICES TO BE PROVIDED. FINAL SERVICE SIZE AND LAYOUT TO BE COORDINATION BETWEEN THE OWNER AND THE NORTHEAST UTILITIES SERVICE COMPANY (EVERSOURCE).



ELECTRICAL SERVICE LOCATION FOR NEW PAVILION. COORDINATE WITH MEP.

EXISTING MANHOLE TO REMAIN AND BE PROTECTED. RESET TOP OF FRAME.
NEW TF = 57.95
EX. TF = 57.25
FL = 53.00 (12" HDPE)
FL = 52.50 (24" HDPE)

60 AMP UNDERGROUND PRIMARY ELECTRIC CONDUIT (TYP.)

EXISTING MANHOLE TO REMAIN AND BE PROTECTED. RESET TOP OF FRAME.
NEW TF = 57.25
FL = 52.50 (24" HDPE)
WEIR PLATE
10" DIA. ORIFICE = 52.50
6" X 48" NOTCH = 55.00
TOP PLATE = 55.50
FL = 52.00 (12" HDPE)

ELECTRICAL CONDUIT TO BE PULLED FROM EXISTING TRANSFORMER ON SOUTHEAST SIDE OF INTERSECTION

EXISTING MANHOLE TO REMAIN AND BE PROTECTED. RESET TOP OF FRAME.
NEW TF = 56.55
EX. TF = 57.25
FL = 51.80 (12" HDPE)

EXISTING MANHOLE TO REMAIN AND BE PROTECTED. RESET TOP OF FRAME.
NEW TF = 58.50
EX. TF = 57.00
INV. = 52.60 (15" HDPE)
FL = 52.50 (24" HDPE)

SCALE: 1" = 10'

PROJECT NUMBER:
00060 - 002

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STEELE CENTER @ FARMINGTON AVE. TOD COMMUNITY PARK

PREPARED FOR TOWN OF BERLIN

GRADING, DRAINAGE & UTILITY PLAN

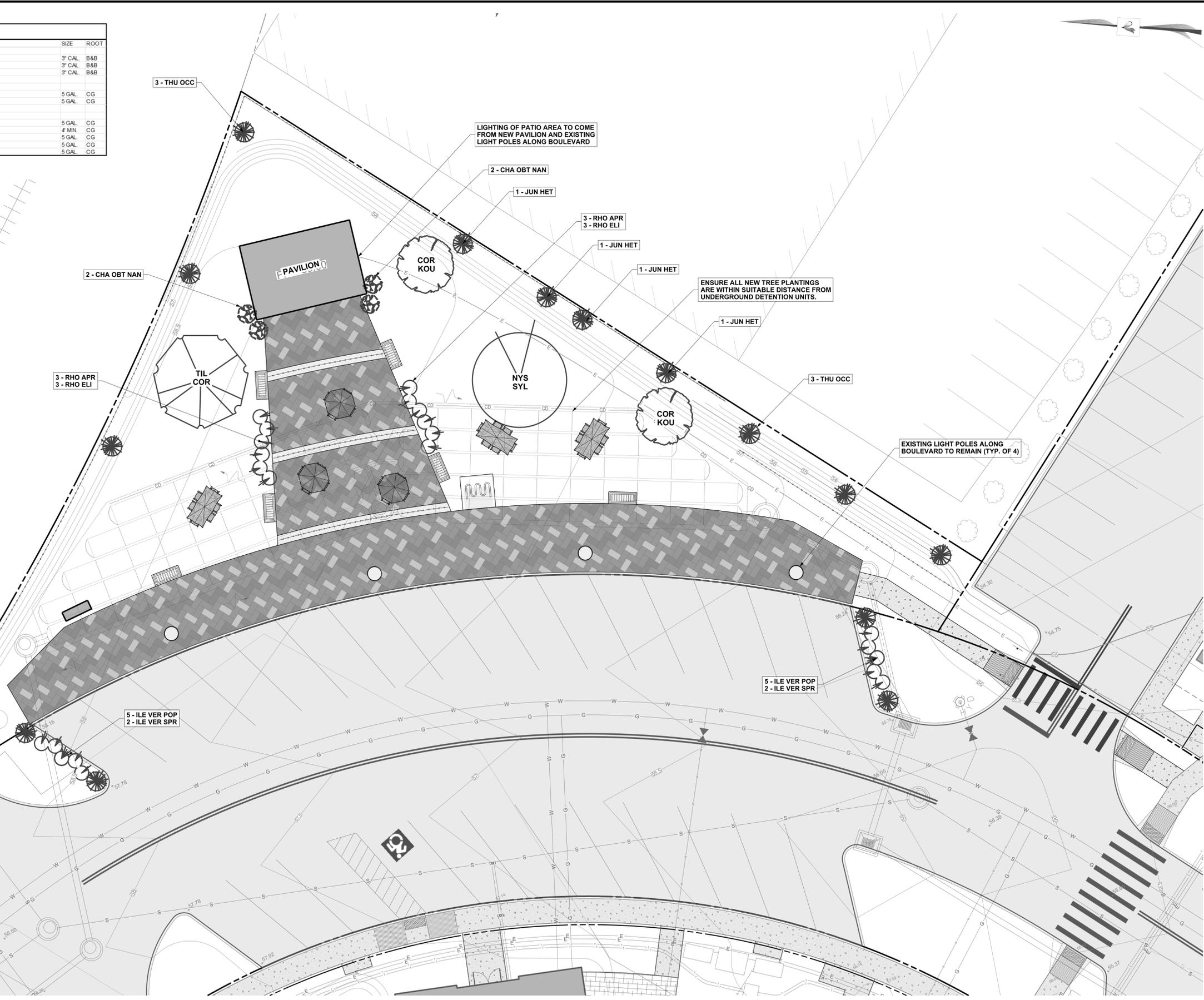
STEELE BOULEVARD BERLIN, CT

REVISION SUMMARY		SHEET 3 OF 8
DATE	DESCRIPTION	
8/12/22	PREPARED FOR TOWN OF BERLIN	DATE
		REVISED

PLANT LIST					
LABEL	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT
DECIDUOUS TREES					
COR KOU	2	KOUSSA DOGWOOD	CORNUS KOUSSA	3" CAL	B&B
NYS SYL	1	BLACK GUM	NYSSA SYLVATICA	3" CAL	B&B
TIL COR	1	LITTLE LEAF LINDEN	TILIA CORDATA	3" CAL	B&B
DECIDUOUS SHRUBS					
ILE VER POP	10	MR. POPPINS WINTERBERRY	ILEX VERTICILLATA 'MR. POPPINS' (Male)	5 GAL	CG
ILE VER SPR	4	RED SPRITE WINTERBERRY	ILEX VERTICILLATA 'RED SPRITE' (Female)	5 GAL	CG
EVERGREEN TREES & SHRUBS					
CHA OBT NAN	4	DWARF HINOKI CYPRESS	CHAMAECYPARIS OBTUSA 'NANA'	5 GAL	CG
JUN HET	4	COLUMNAR HETZL JUNIPER	JUNIPERUS CHIN. HETZL COLUMNARIS	4 MIN	CG
RHO APR	6	APRIL SNOW P.JM HYBRID RHODO	RHODODENDRON 'PJM' HYBRID 'APRIL SNOW'	5 GAL	CG
RHO ELI	6	ELITE P.JM HYBRID RHODO	RHODODENDRON 'PJM' HYBRID 'ELITE'	5 GAL	CG
THU OCC	6	EMERALD GREEN ARBORVITAE	THUJA OCCIDENTALIS SMARGO	5 GAL	CG

LANDSCAPE PLANTING NOTES:

- ALL LANDSCAPE MATERIALS AND METHODS SHALL COMPLY WITH TOWN OF BERLIN'S REGULATIONS AND REQUIREMENTS.
- ALL AREAS OF THE PROJECT SITE AFFECTED BY CONSTRUCTION OPERATIONS AND NOT COVERED BY BUILDINGS, ROADS, PARKING LOTS, WALKS, PLANTING BEDS, OR OTHER PERMANENT IMPROVEMENTS SHALL BE FINE GRADED, FERTILIZED AND SEEDED WITH A PERENNIAL TURF TYPE GRASS SEED MIX.
- ALL LANDSCAPE MATERIALS SHALL COMPLY WITH STATE OF CONNECTICUT D.O.T. STANDARD SPECIFICATIONS FORM 817, AS AMENDED.
- SOIL PREPARATION SHALL BE LIMITED TO AREAS TO BE PLANTED WITHIN SEVEN (7) DAYS.
- SPREAD TOPSOIL THAT IS FERTILE, FRIABLE, NATURAL LOAM WITHIN LAWN AREAS TO A MINIMUM DEPTH OF 4 INCHES UNLESS OTHERWISE NOTED. REMOVE ALL STONES, STICKS, WEEDS, CLODS, LUMPS, ROOTS, RUBBISH, AND OTHER EXTRANEIOUS MATTER OVER 1 INCH IN ANY DIMENSION WITHIN 4" OF FINISH GRADE.
- PROTECT EXISTING LAWN AREAS AND CREATE A SMOOTH TRANSITION BETWEEN THEM AND NEW WORK. REPAIR ANY DAMAGE TO THE SATISFACTION OF THE OWNER OR LANDSCAPE ARCHITECT.
- SECURE ACCEPTANCE OF FINE GRADING BY THE OWNERS REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF SEEDING OR SODDING OPERATIONS.
- MOISTEN PREPARED LAWN AREAS BEFORE PLANTING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE TO DRY OFF BEFORE PLANTING OF LAWNS. DO NOT CREATE A MUDDY SOIL CONDITION.
- RESTORE PREPARED AREAS TO SPECIFIED CONDITION IF ERODED OR OTHERWISE DISTURBED AFTER FINE GRADING AND PRIOR TO PLANTING.
- PLANT MATERIAL SHALL BE INSTALLED AFTER FINAL GRADES AREA ESTABLISHED AND PRIOR TO PLANTING OF LAWNS. UNLESS OTHERWISE ACCEPTABLE TO OWNER'S REPRESENTATIVE. IF PLANTING OF TREES AND SHRUBS OCCURS AFTER LAWN WORK, PROTECT LAWN AREAS AND PROMPTLY REPAIR DAMAGE TO LAWNS RESULTING FROM PLANTING OPERATIONS.
- PROVIDE TREES, SHRUBS, AND ALL OTHER PLANT MATERIAL OF GENUS, SPECIES, VARIETY, HEIGHT AND CALIPER SHOWN.
- PLANT MATERIAL SHALL BE INSTALLED IN THE FOLLOWING STEPS:
 - EXCAVATE PITS, BEDS, AND TRENCHES WITH SLOPING SIDES AND A FLAT BOTTOM. LOOSEN HARD SUBSOIL IN BOTTOM OF EXCAVATION.
 - EXCAVATIONS FOR BALLED AND BURLAPPED (B&B) TREES AND SHRUBS SHALL BE 2 TO 3 TIMES THE WIDTH BUT NO DEEPER THAN THE ROOT BALL.
 - PLACE PLANT MATERIAL IN HOLE. CLIP AND ROLL DOWN OR REMOVE THE WIRE CAGE, BURLAP AND NYLON STRING.
 - PRUNE CLEANLY ANY DEAD OR CRUSHED ROOTS AND STRAIGHTEN OR CUT ENCIRCLING ROOTS IF PRESENT.
 - USING THE SAME SOIL AS DUG FROM THE HOLE. FILL UNDER AND AROUND THE ROOT BALL. GENTLY PRESS INTO PLACE. FILL THE HOLE PARTIALLY WITH WATER. CONTINUE TO PLACE SOIL INTO THE HOLE UNTIL THE SURFACE LEVEL IS JUST BELOW THE ROOT COLLAR.
 - CREATE A SOIL BERM AROUND THE TRUNK TWO (2) TIMES THE WIDTH OF THE ROOT BALL. ADD 3" OF SHREDDED BARK MULCH OR APPROVED EQUAL OVER THE SOIL BERM STAYING AT LEAST 3" AWAY FROM THE ROOT COLLAR.
- ALL PLANT MATERIALS SHALL BE INSPECTED FOR DEFECTS OR DAMAGE BEFORE PLANTING. SUBSTANDARD PLANTS SHALL BE RETURNED TO, AND REPLACED BY THE CONTRACTOR. ACCEPTABLE PLANTS ARE TO BE PLANTED PER THE SPECIFICATIONS OF THE PLANTING PLAN. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE FOR THE SAFEKEEPING AND MAINTENANCE OF THESE PLANTS FOR THE DURATION OF SITE CONSTRUCTION ACTIVITY. ONCE PLANTED, ALL MACHINERY SHALL AVOID THESE PLANTED AREAS WHICH SHOULD BE DEMARCATED CLEARLY BY FLAGGED FIELD STAKES. PROVISIONS FOR REGULAR WATERING AND INSPECTIONS SHALL BE MADE BY THE OWNER, OR NURSERY CONTRACTOR FOR THE DURATION OF THE PLANT'S FIRST YEAR IN THE GROUND.
- ALL PLANT MATERIAL PLACEMENT IS SUBJECT TO FIELD ADJUSTMENT IN RESPONSE TO SITE CONDITIONS. THESE ADJUSTMENTS SHALL BE AT THE DISCRETION OF THE OWNER OR LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS ARE SUBJECT TO REPLACEMENT BY SUITABLE ALTERNATIVES PER AGREEMENT BETWEEN OWNER, LANDSCAPE ARCHITECT, NURSERY CONTRACTOR, AND APPROPRIATE AGENCIES.
- PLANT MATERIALS ARE TO BE PLANTED IN ACCORDANCE WITH REQUIREMENTS SPECIFIED IN THE PLANTING SPECIFICATIONS. AN APPLICATION OF LIME MAY BE REQUIRED IN ADDITION TO A STANDARD APPLICATION OF A COMPLETE FERTILIZER COMPOUND AT THE DISCRETION OF THE OWNER OR LANDSCAPE ARCHITECT.



SCALE: 1" = 10'

PROJECT NUMBER:
00060 - 002



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STEELE CENTER @ FARMINGTON AVE. TOD COMMUNITY PARK
 PREPARED FOR TOWN OF BERLIN
LANDSCAPE & LIGHTING PLAN

STEELE BOULEVARD
 BERLIN, CT

REVISION SUMMARY	
DATE	DESCRIPTION

SHEET	4 OF 8
DATE	8/12/22
REVISED	

EROSION & SEDIMENTATION CONTROL PLAN:

1. OWNER & PARTY RESPONSIBLE FOR E&S CONTROL PLAN: TOWN OF BERLIN OR SELECTED CONTRACTOR
EMERGENCY CONTACT: TO BE PROVIDED PRIOR TO ISSUANCE OF BUILDING PERMIT
2. ALL EROSION AND CONTROL MEASURES WILL BE INSTALLED AT THE PROJECT SITE PRIOR TO CONSTRUCTION WHEREVER POSSIBLE.
3. AN ANTI-TRACKING APRON WILL BE INSTALLED AT THE ENTRANCE TO THE CONSTRUCTION SITE IN ORDER TO PREVENT THE TRANSPORT OF SEDIMENTS OFF THE CONSTRUCTION SITE BY TRUCK AND CONSTRUCTION EQUIPMENT TRAFFIC. THE SURROUNDING ROAD SURFACES SHALL BE SWEEP AS REQUIRED.
4. ALL EXISTING AND PROPOSED CATCH BASINS WITHIN THE PROJECT AREA SHALL BE PROTECTED WITH INLET CONTROL FILTER SILT SACKS AS SHOWN ON THE PLAN THROUGHOUT THE CONSTRUCTION PERIOD.
5. AN EROSION CONTROL SYSTEM SHALL BE INSTALLED AROUND ALL ON-SITE STOCKPILES OF SOIL.
6. DUST CONTROL MEASURES SHALL BE APPLIED THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED AS REQUIRED.
7. TEMPORARY SEDIMENT TRAPS WILL BE INSTALLED AS NECESSARY DURING CONSTRUCTION ACTIVITIES. ALL TEMPORARY STORMWATER DISCHARGE WILL BE DIRECTED TO THESE TRAPS.

EROSION & SEDIMENTATION CONTROL NOTES:

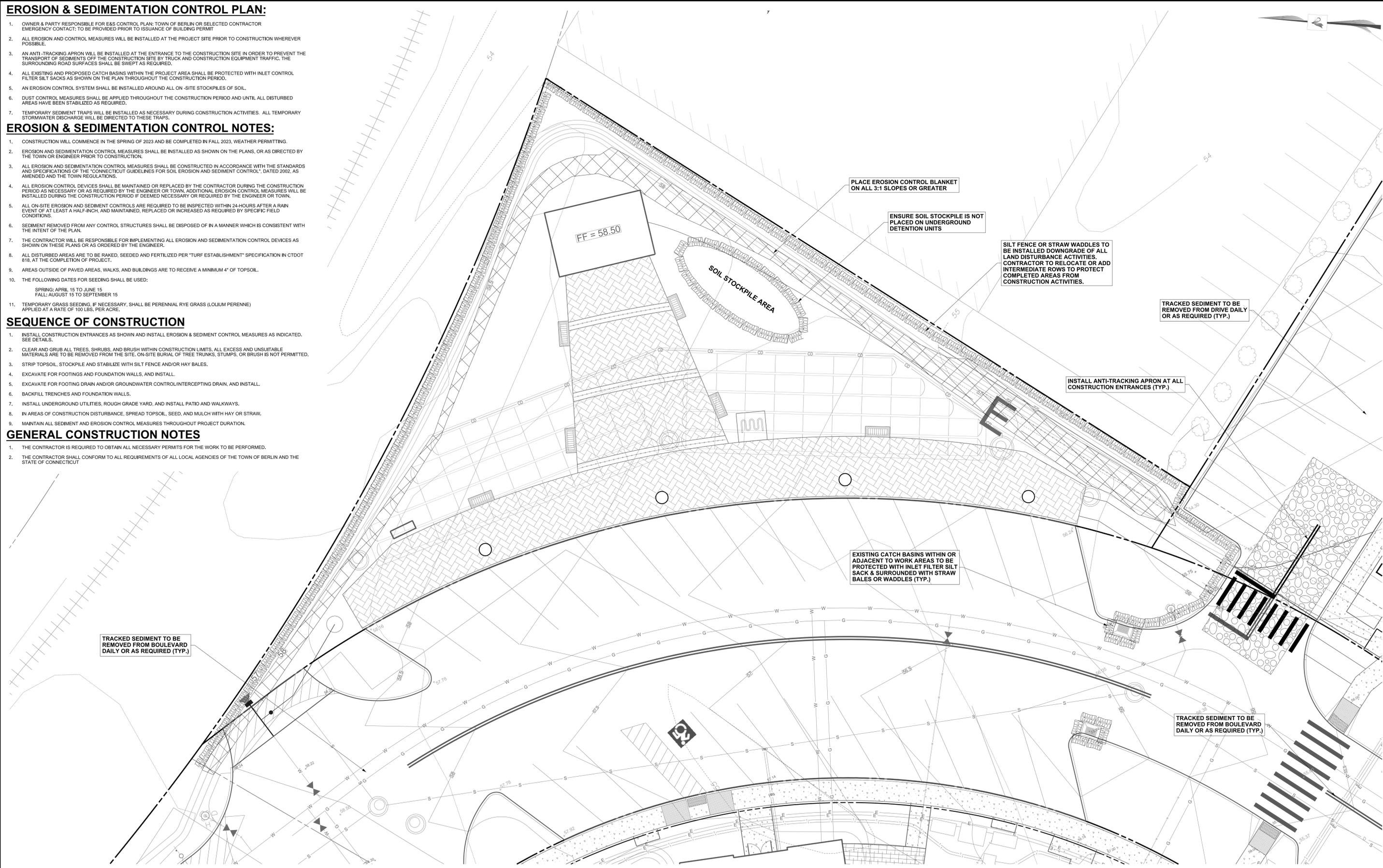
1. CONSTRUCTION WILL COMMENCE IN THE SPRING OF 2023 AND BE COMPLETED IN FALL 2023, WEATHER PERMITTING.
2. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS, OR AS DIRECTED BY THE TOWN OR ENGINEER PRIOR TO CONSTRUCTION.
3. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", DATED 2002, AS AMENDED AND THE TOWN REGULATIONS.
4. ALL EROSION CONTROL DEVICES SHALL BE MAINTAINED OR REPLACED BY THE CONTRACTOR DURING THE CONSTRUCTION PERIOD AS NECESSARY OR AS REQUIRED BY THE ENGINEER OR TOWN. ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF DEEMED NECESSARY OR REQUIRED BY THE ENGINEER OR TOWN.
5. ALL ON-SITE EROSION AND SEDIMENT CONTROLS ARE REQUIRED TO BE INSPECTED WITHIN 24-HOURS AFTER A RAIN EVENT OF AT LEAST A HALF-INCH, AND MAINTAINED, REPLACED OR INCREASED AS REQUIRED BY SPECIFIC FIELD CONDITIONS.
6. SEDIMENT REMOVED FROM ANY CONTROL STRUCTURES SHALL BE DISPOSED OF IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN.
7. THE CONTRACTOR WILL BE RESPONSIBLE FOR IMPLEMENTING ALL EROSION AND SEDIMENTATION CONTROL DEVICES AS SHOWN ON THESE PLANS OR AS ORDERED BY THE ENGINEER.
8. ALL DISTURBED AREAS ARE TO BE RAKED, SEEDED AND FERTILIZED PER "TURF ESTABLISHMENT" SPECIFICATION IN CTDOT 818, AT THE COMPLETION OF PROJECT.
9. AREAS OUTSIDE OF PAVED AREAS, WALKS, AND BUILDINGS ARE TO RECEIVE A MINIMUM 4" OF TOPSOIL.
10. THE FOLLOWING DATES FOR SEEDING SHALL BE USED:
SPRING: APRIL 15 TO JUNE 15
FALL: AUGUST 15 TO SEPTEMBER 15
11. TEMPORARY GRASS SEEDING, IF NECESSARY, SHALL BE PERENNIAL RYE GRASS (LOLIUM PERENNE) APPLIED AT A RATE OF 100 LBS. PER ACRE.

SEQUENCE OF CONSTRUCTION

1. INSTALL CONSTRUCTION ENTRANCES AS SHOWN AND INSTALL EROSION & SEDIMENT CONTROL MEASURES AS INDICATED. SEE DETAILS.
2. CLEAR AND GRUB ALL TREES, SHRUBS, AND BRUSH WITHIN CONSTRUCTION LIMITS. ALL EXCESS AND UNSUITABLE MATERIALS ARE TO BE REMOVED FROM THE SITE. ON-SITE BURIAL OF TREE TRUNKS, STUMPS, OR BRUSH IS NOT PERMITTED.
3. STRIP TOPSOIL, STOCKPILE AND STABILIZE WITH SILT FENCE AND/OR HAY BALES.
4. EXCAVATE FOR FOOTINGS AND FOUNDATION WALLS, AND INSTALL.
5. EXCAVATE FOR FOOTING DRAIN AND/OR GROUNDWATER CONTROL/INTERCEPTING DRAIN, AND INSTALL.
6. BACKFILL TRENCHES AND FOUNDATION WALLS.
7. INSTALL UNDERGROUND UTILITIES, ROUGH GRADE YARD, AND INSTALL PATIO AND WALKWAYS.
8. IN AREAS OF CONSTRUCTION DISTURBANCE, SPREAD TOPSOIL, SEED, AND MULCH WITH HAY OR STRAW.
9. MAINTAIN ALL SEDIMENT AND EROSION CONTROL MEASURES THROUGHOUT PROJECT DURATION.

GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE WORK TO BE PERFORMED.
2. THE CONTRACTOR SHALL CONFORM TO ALL REQUIREMENTS OF ALL LOCAL AGENCIES OF THE TOWN OF BERLIN AND THE STATE OF CONNECTICUT.



SCALE: 1" = 10'

PROJECT NUMBER:
00060 - 002



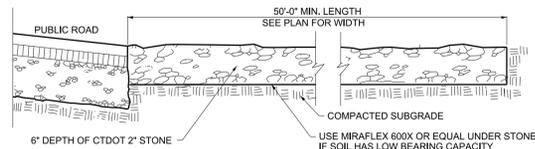
CONTACT INFORMATION
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PREPARED FOR
TOWN OF BERLIN
EROSION AND SEDIMENT CONTROL PLAN
STEELE BOULEVARD
BERLIN, CT

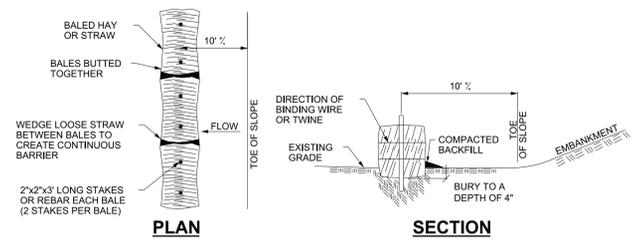
REVISION SUMMARY	
DATE	DESCRIPTION

SHEET	5 OF 8
DATE	8/12/22
REVISED	



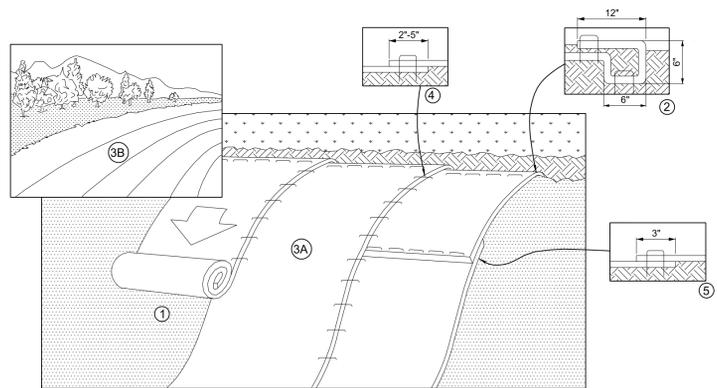
ANTI-TRACKING PAD DETAIL

NOT TO SCALE



HAY BALES AT TOE OF SLOPE

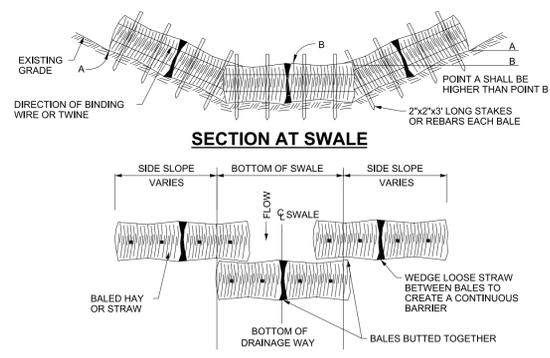
NOT TO SCALE



- NOTES:
1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP'S), INCLUDING AND NECESSARY APPLICATION OF LIME, FERTILIZER AND SEED.
 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP'S IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF RECP'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP'S WITH A ROW OF STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF RECP'S BACK OVER SEED AND COMPACTED SOIL. SECURE RECP'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE RECP'S.
 3. ROLL THE RECP'S (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. RECP'S WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 4. THE EDGES OF PARALLEL RECP'S MUST BE STAPLED WITH APPROXIMATELY 2'-5" OVERLAP DEPENDING ON RECP'S TYPE.
 5. CONSECUTIVE RECP'S SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROX. 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE RECP'S WIDTH.

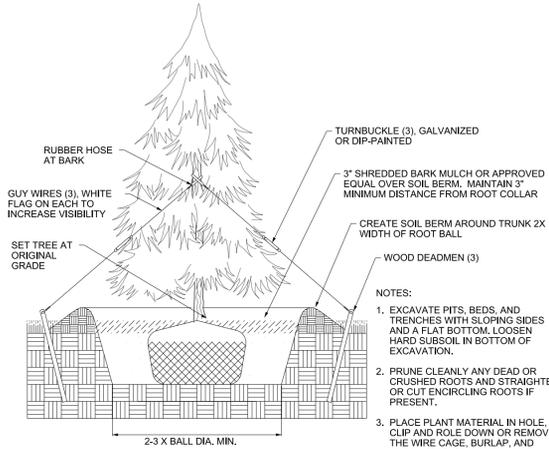
EROSION CONTROL BLANKET SLOPE INSTALLATION

NOT TO SCALE



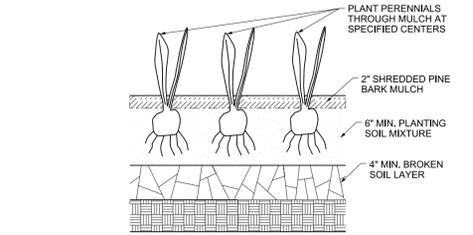
HAY BALES AT SWALE

NOT TO SCALE



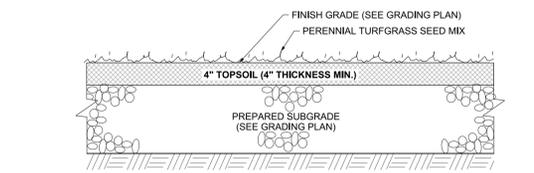
CONIFEROUS TREE PLANTING

NOT TO SCALE



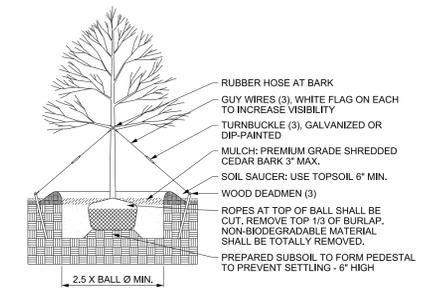
PERENNIAL PLANTING

NOT TO SCALE



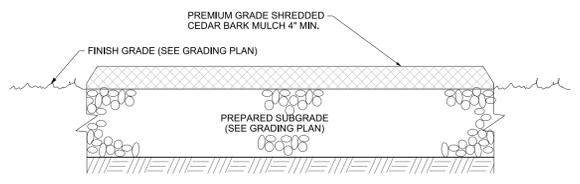
TURF ESTABLISHMENT

NOT TO SCALE



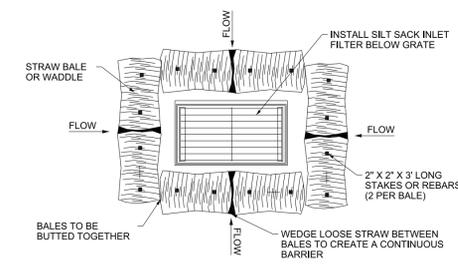
TREE PLANTING

NOT TO SCALE



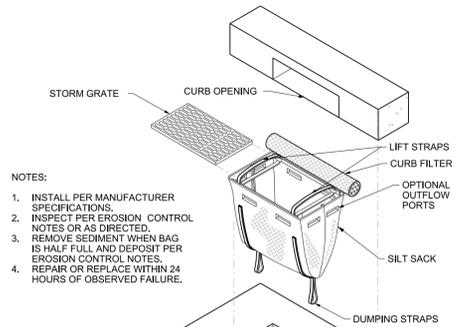
MULCH SURFACE TREATMENT

NOT TO SCALE



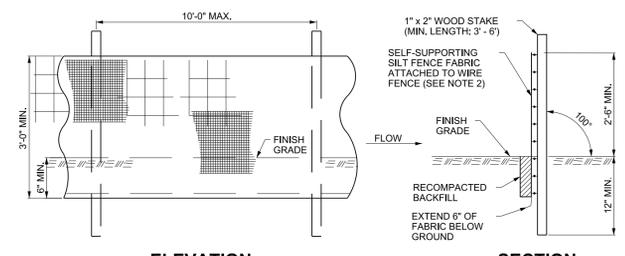
HAY BALES AROUND CATCH BASIN

NOT TO SCALE



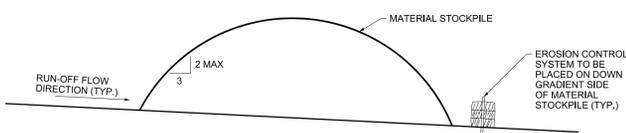
INLET SEDIMENT CONTROL DEVICE

NOT TO SCALE



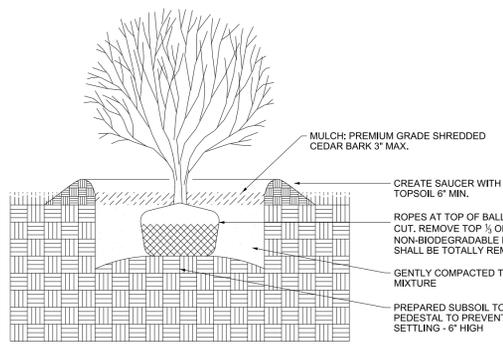
SILT FENCE

NOT TO SCALE



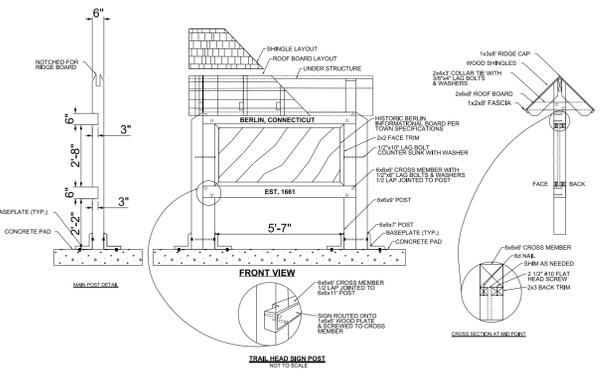
SOIL STOCKPILE DETAIL

NOT TO SCALE



SHRUB PLANTING

NOT TO SCALE



HISTORIC BERLIN MARKER BOARD

NOT TO SCALE

SCALE: AS SHOWN

PROJECT NUMBER:
00060 - 002

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STEELE CENTER @ FARMINGTON AVE. TOD COMMUNITY PARK

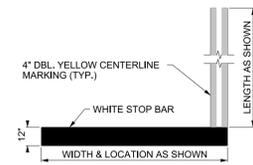
PREPARED FOR TOWN OF BERLIN

DETAILS

STEELE BOULEVARD BERLIN, CT

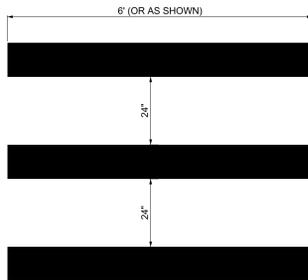
REVISION SUMMARY	
DATE	DESCRIPTION

SHEET	6 OF 8
DATE	8/12/22
REVISED	



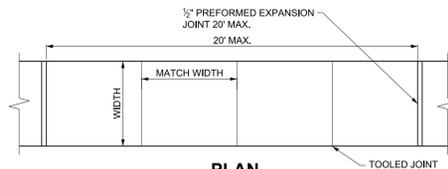
STOP BAR

NOT TO SCALE



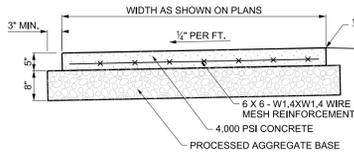
CROSSWALK DETAIL

NOT TO SCALE



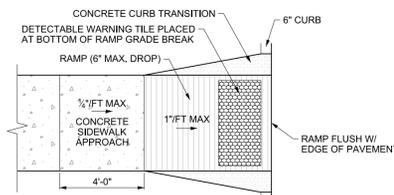
PLAN

NOT TO SCALE



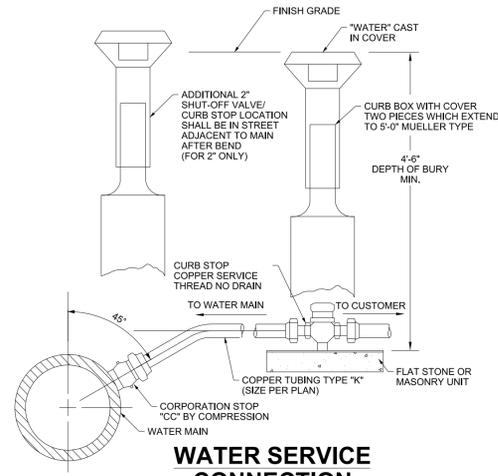
**PROFILE
CONCRETE SIDEWALK**

NOT TO SCALE



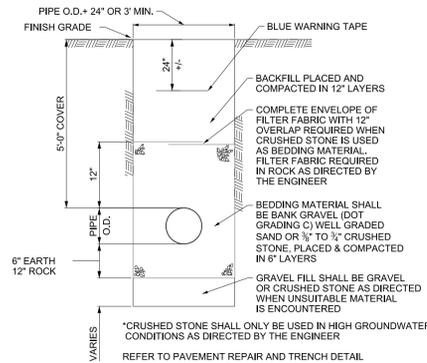
SIDEWALK RAMP 4e

NOT TO SCALE



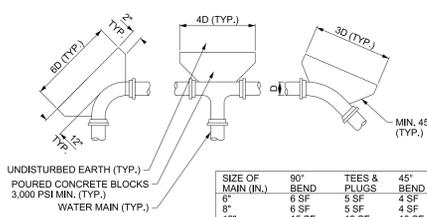
WATER SERVICE CONNECTION

NOT TO SCALE



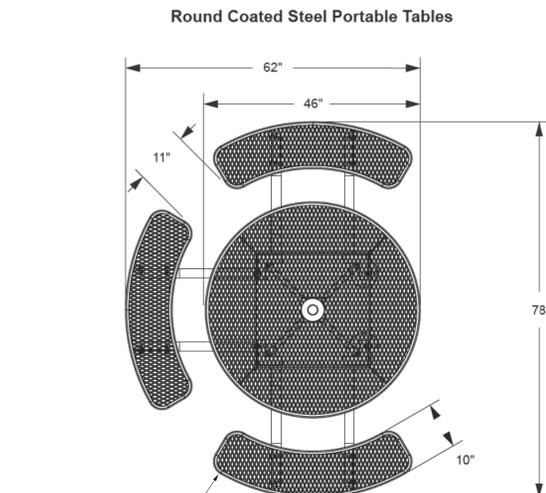
TYPICAL TRENCH DETAIL (WATER)

NOT TO SCALE



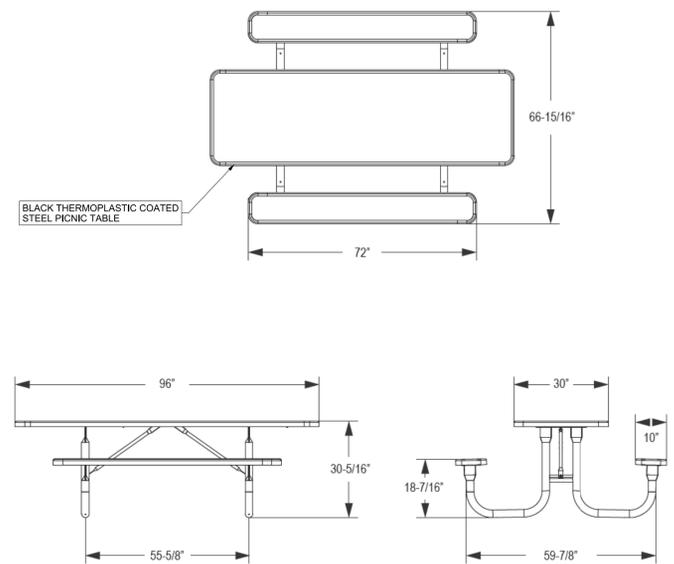
TYPICAL THRUST BLOCKING DETAIL

NOT TO SCALE

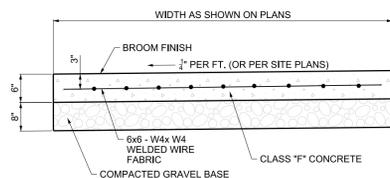


BELSON OUTDOORS PICNIC TABLE

E-Series Rectangular Picnic Table | ADA - Double Overhang



BELSON OUTDOORS PICNIC TABLE

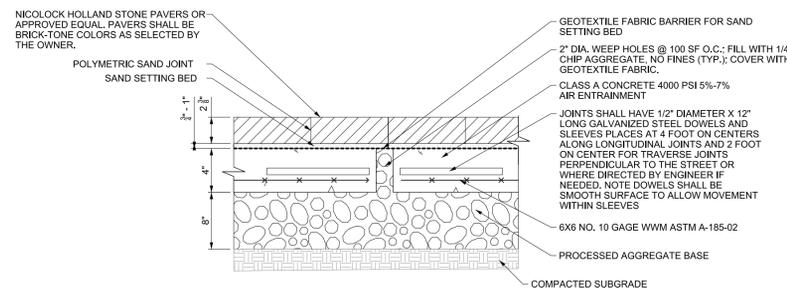


NOTES:

1. ALL CONCRETE PADS SHALL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE.
2. ALL PADS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS & SPECIFICATIONS PROVIDED.
3. CONCRETE SURFACE SHALL BE A COARSE BROOM FINISH, TRANSVERSE TO THE SLOPE OF THE PAD.
4. CARE SHALL BE TAKEN TO ASSURE UNIFORM GRADE, FREE OF SAGS AND ABRUPT GRADE CHANGES.
5. MAXIMUM CONTROL JOINT SPACING FOR EXTERIOR SLABS ON GRADE IS 15'-0".

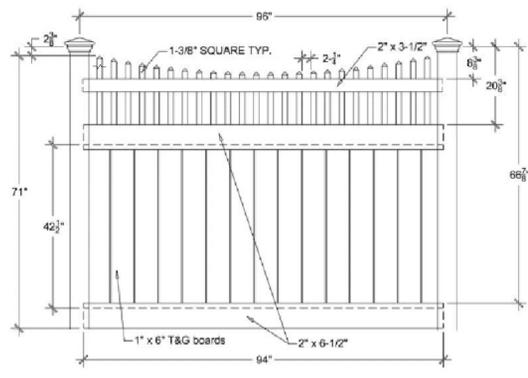
CONCRETE PAD AND BANDING DETAIL

NOT TO SCALE



PATIO PAVERS ON CONCRETE BASE

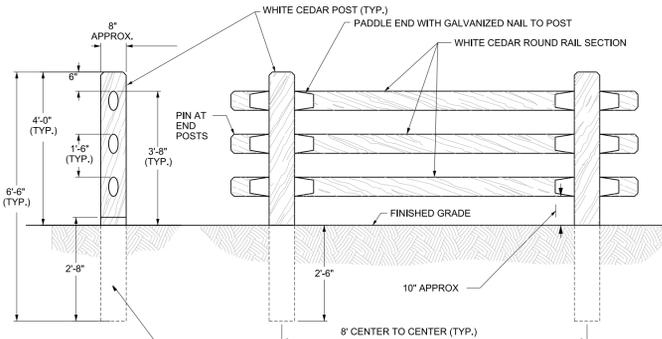
NOT TO SCALE



NOTE: PRIVACY FENCE TO BE ATLAS OUTDOOR 6'-0" TALL SCALLOPED SOUTHPORT PVC FENCE OR APPROVED EQUAL. COLOR SHALL BE OFF-WHITE OR TAN AND SHALL BE SELECTED BY OWNER.

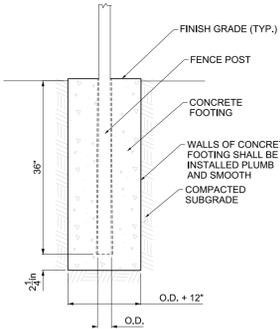
PRIVACY FENCE

NOT TO SCALE



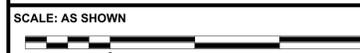
THREE RAIL FENCE

NOT TO SCALE



PRIVACY FENCE POST DETAIL

NOT TO SCALE



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PROFESSIONAL SEAL

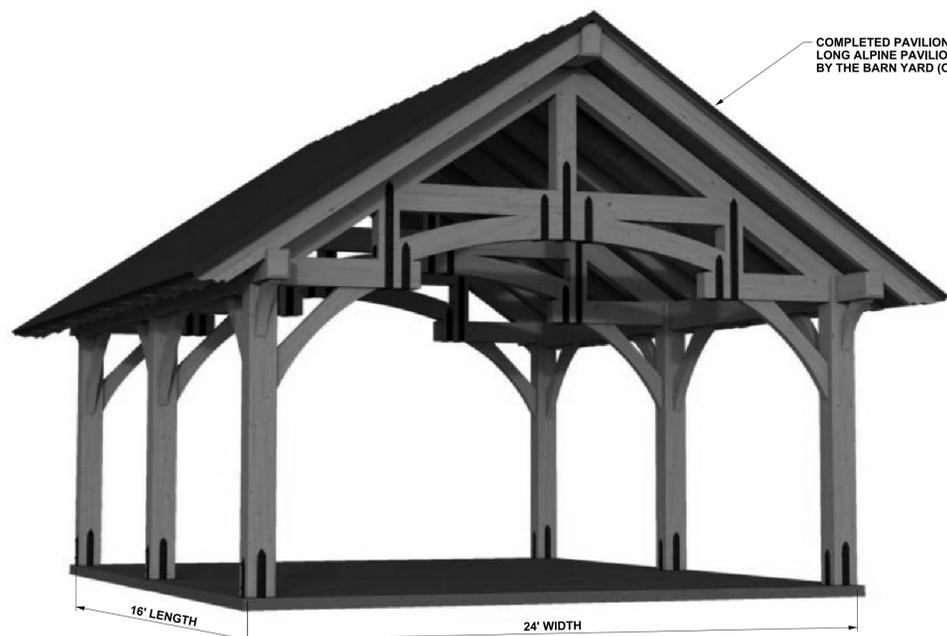


STEELE CENTER @ FARMINGTON AVE. TOD COMMUNITY PARK
PREPARED FOR
TOWN OF BERLIN
DETAILS
STEELE BOULEVARD
BERLIN, CT

REVISION SUMMARY		SHEET 7 OF 8
DATE	DESCRIPTION	
		DATE 8/12/22
		REVISED

PAVILION STRUCTURE NOTES

1. STRUCTURE TO BE 24' WIDE X 16' LONG ALPINE TIMBER FRAME PAVILION DESIGNED, MANUFACTURED, AND BUILT BY THE BARN YARD, 9 VILLAGE STREET, ELLINGTON, CT 06029 OR ALTERNATE STRUCTURE APPROVED BY THE TOWN, AND SHALL INCLUDE:
 - A. SUBMISSION OF SHOP DRAWINGS FOR THE STRUCTURE, PIERS, AND FOUNDATION CERTIFIED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT.
 - B. EASTERN WHITE PINE TIMBER FRAME WITH FINISHED PLANED SURFACE
 - C. AUTHENTIC MORTISE & TENON JOINERY WITH HARDWOOD OAK PEGS.
 - D. 10X10 POSTS, 4X8 ARCHED BRACES, 4X8 RAFTERS WITH SCROLLED ENDS.
 - E. 6"4" POST HEIGHT.
 - F. HAMMER BEAM TIMBER TRUSS DESIGN.
 - G. BLACK POWDER COATED STEEL STRAPPING.
 - H. 9-12 ROOF PITCH
 - I. 18" GABLE OVERHANGS; 24" EAVE OVERHANGS.
 - J. 2X8 TONGUE & GROOVE SOUTHERN YELLOW PINE V-GROOVE ROOF DECKING.
 - K. 30 YEAR TAMKO ARCHITECTURAL SHINGLES.
 - L. ONE COAT TWP STAIN.
 - M. STAINLESS STEEL KNIFE PLATES FOR ANCHORING POSTS TO PIERS.



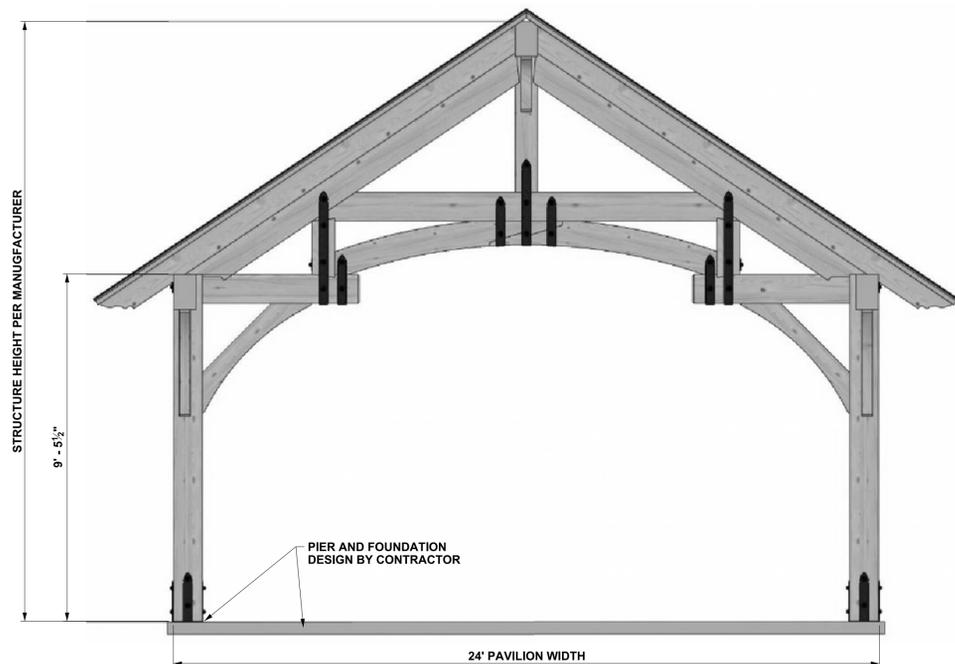
ALPINE PAVILION ISOMETRIC VIEW (COMPLETE)

NOT TO SCALE



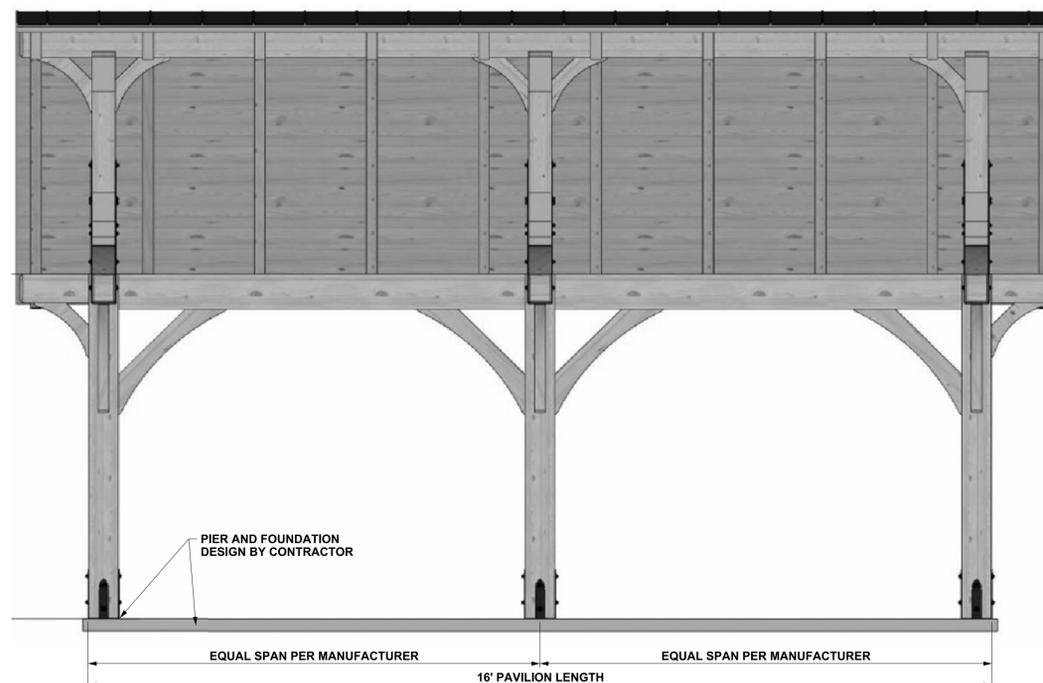
ALPINE PAVILION ISOMETRIC VIEW (FRAMING)

NOT TO SCALE



SECTION (FRONT)

NOT TO SCALE



SECTION (SIDE)

NOT TO SCALE

SCALE: AS SHOWN

PROJECT NUMBER:
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8 OF 8
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