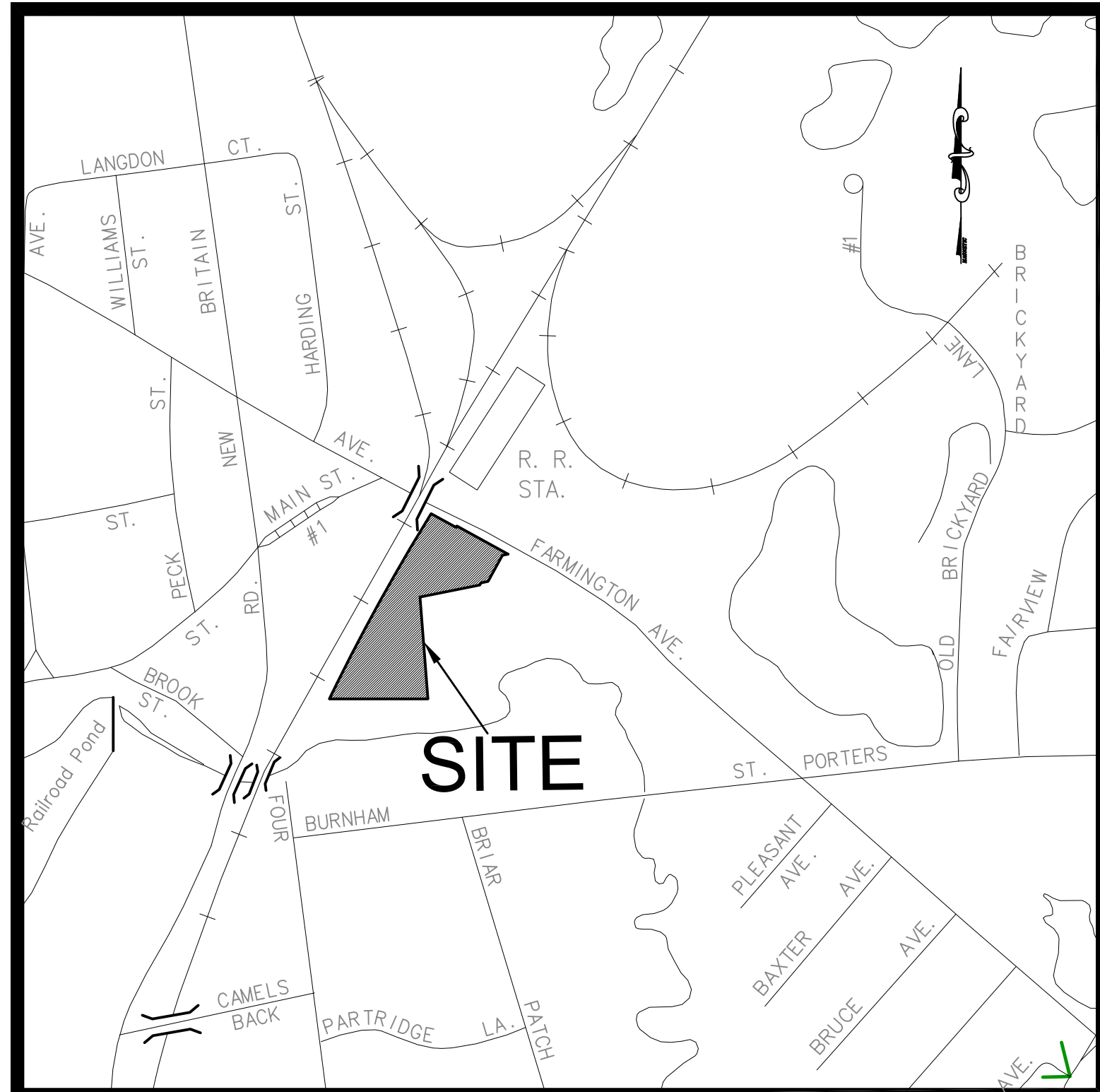
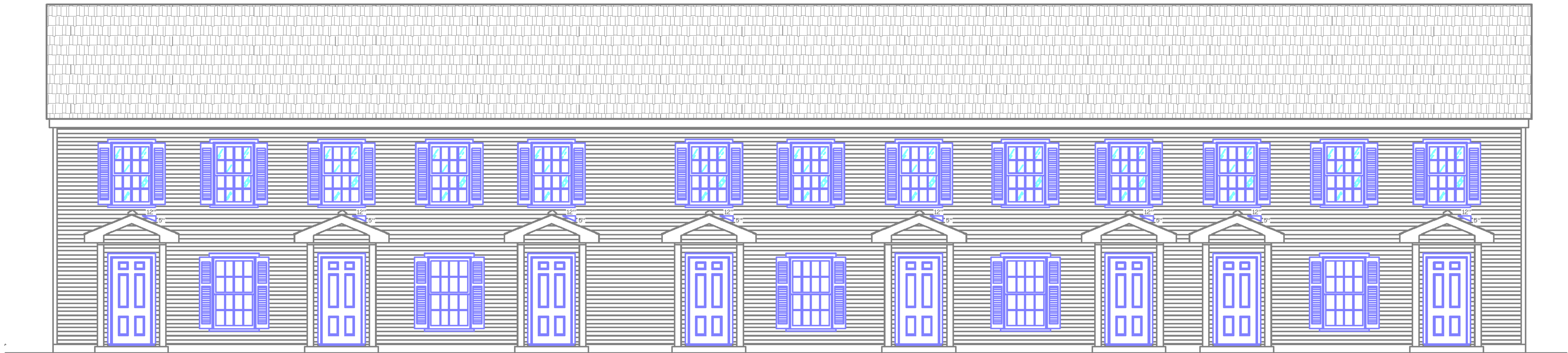


REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

PLANS PREPARED FOR NEWPORT 848 FARMINGTON AVE LLC



KEYMAP
SCALE: 1"=500±'



STATE INFORMATION

- CONNECTICUT HIGHWAY DEPT.
OFFICE OF SPECIAL SERVICES & PERMITS
1107 CROMWELL AVENUE
ROCKY HILL, CT 06067
(860) 258-4541
- STATE D.E.P.
79 ELM STREET
HARTFORD, CT 06106
(860) 424-3245

MISCELLANEOUS

- CALL BEFORE YOU DIG
(800) 922-4455

LIST OF DRAWINGS		
C-1	COVER SHEET	AS NOTED
B-1	BOUNDARY MAP	50' SCALE
E-1	EXISTING CONDITIONS MAP	20' SCALE
L-1	LAYOUT & LANDSCAPING PLAN	20' SCALE
G-1	GRADING & EROSION CONTROL PLAN	20' SCALE
D-1	SITE DETAILS	N.T.S.
Z-1	IMPERVIOUS COVERAGE COMPARISON	20' SCALE

SITE CONSULTANTS

KRATZERT, JONES & ASSOC., INC.
1755 MERIDEN-WATERBURY RD.
P.O. BOX 337
MILDDALE, CT 06467
TEL. (860) 621-3638
FAX (860) 621-9609
EMAIL: info@kratzertjones.com
www.kratzertjones.com



REVISION-7:	
REVISION-6:	
REVISION-5:	
REVISION-4:	
REVISION-3:	
REVISION-2:	
REVISION-1:	
PROJECT: 223123-NEWPORT	
DB: MPT	SR: EF
	DR: AQ

SEAL:

Andrew J. Quirk
CT P.E. #22588

kratzert, jones & associates, inc.

CIVIL ENGINEERS • LAND SURVEYORS
SITE PLANNERS • BUILDING ENGINEERS

P.O. BOX 337
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PHONE: (860) 621-3638
FAX: (860) 621-9609
EMAIL: INFO@KRATZERTJONES.COM

COVER SHEET

for

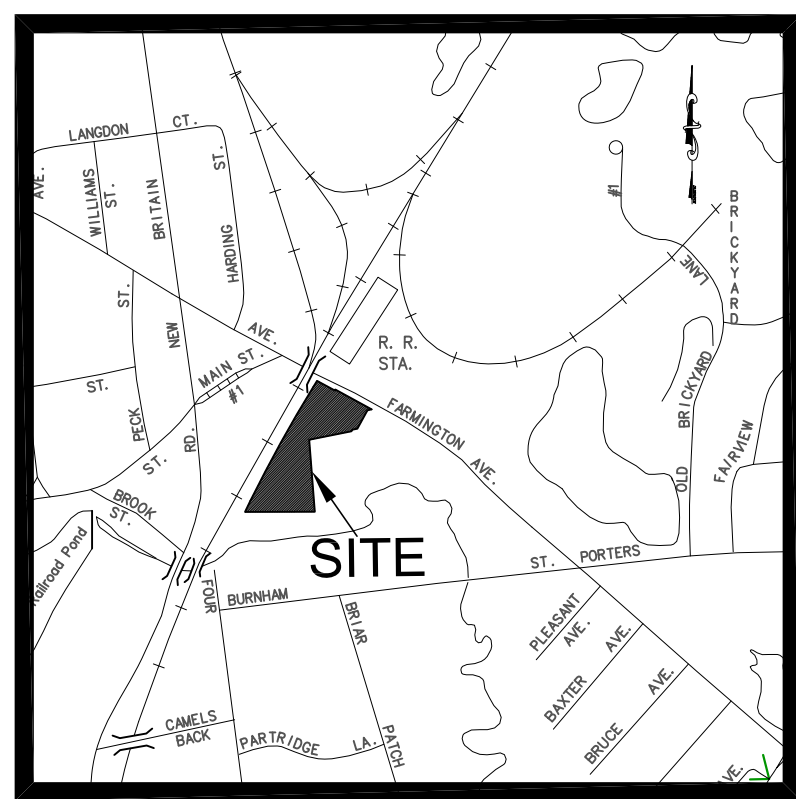
**NEWPORT 848
FARMINGTON AVE LLC**

**848 FARMINGTON AVENUE
BERLIN, CT**

SCALE: 1" = AS NOTED
DATE: AUGUST 27, 2024

1/2" 1" 2" INCHES ON ORIGINAL

KJA FILE NO.: **223-123**
DRAWING NO.: **C-1**



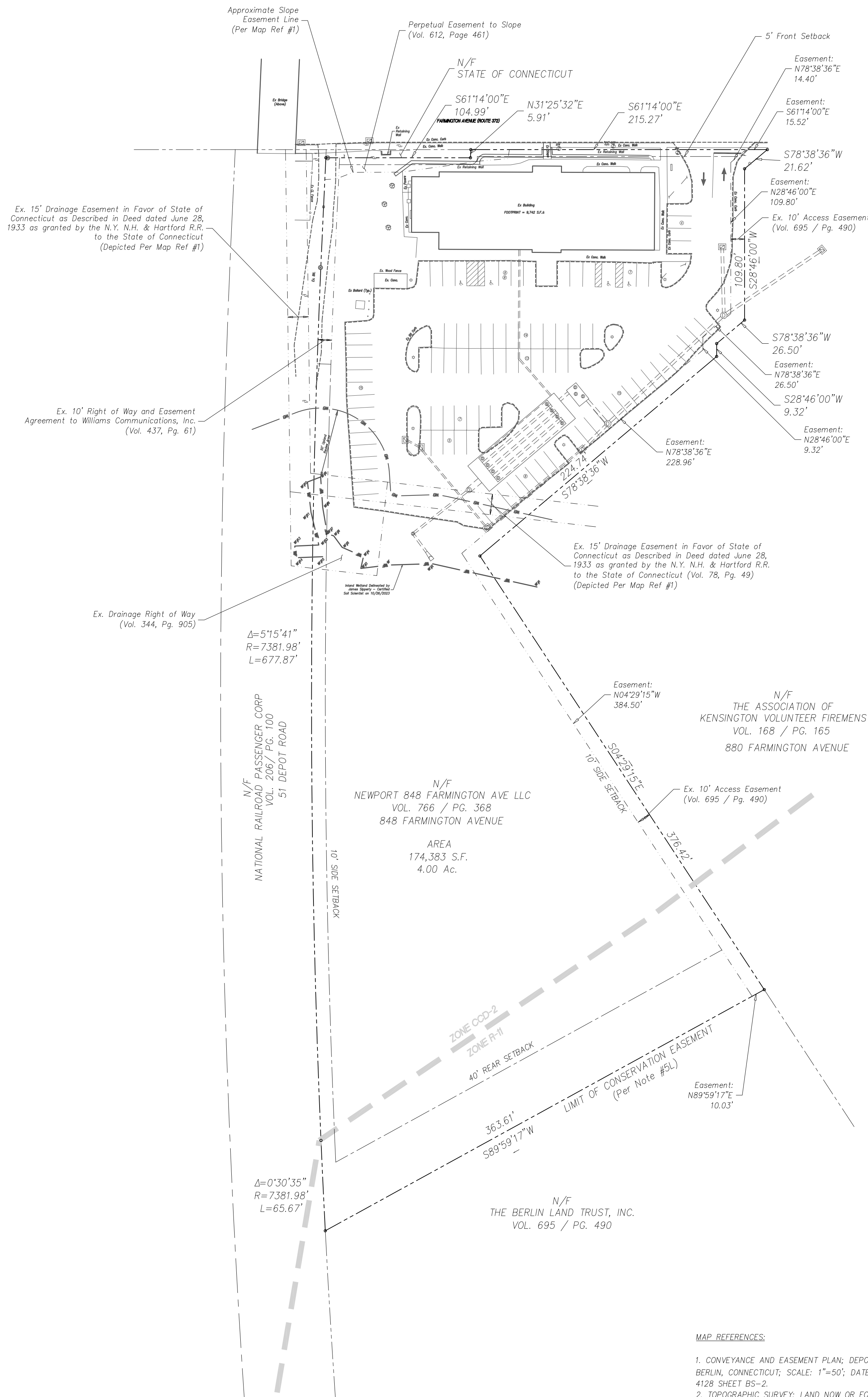
AREA MAP (1"=1000')

NOTES:

1. PARCEL OWNER: NEWPORT 848 FARMINGTON AVE, LLC
- SEE STATUTORY FORM WARRANTY DEED RECORDED 1/27/2020 IN VOL. 766 AT PG. 368 OF TOWN OF BERLIN LAND RECORDS
2. ADDRESS: 848 FARMINGTON AVENUE, BERLIN, CT
3. AREA: SEE MAP
4. ZONE: CCD-2 & R-11 (SEE ZONING TABLES)
5. THE SUBJECT PARCEL MAY BE SUBJECT TO OR BENEFIT BY THE EASEMENTS, RIGHTS OF WAY, AND/OR AGREEMENTS AS MAY APPEAR ON RECORDS.
 - A. NOTES AND ALL MATTERS SET FORTH ON MAP NOS. 3800, 3867, 4127, 4128 & 4245 ON FILE IN THE OFFICE OF THE BERLIN TOWN CLERK (PLOTTED)
 - B. POSSIBLE SHOT POLE EASEMENT ALONG THE WESTERLY BOUNDARY DATED SEPTEMBER 6, 1902 AND RECORDED SEPTEMBER 16, 1902 IN VOLUME 47 AT PAGE 175 OF THE BERLIN LAND RECORDS (NOT PLOTTED)
 - C. POSSIBLE DRAINAGE RIGHT IN FAVOR OF THE STATE OF CONNECTICUT DATED APRIL 19, 1933 AND RECORDED APRIL 19, 1933 IN VOLUME 78 AT PAGE 48 OF THE BERLIN LAND RECORDS (NOT PLOTTED)
 - D. EASEMENT IN FAVOR OF THE STATE OF CONNECTICUT DATED JUNE 4, 1993 AND RECORDED JUNE 4, 1993 IN VOLUME 344 PAGE 905 OF THE BERLIN LAND RECORDS (PLOTTED)
 - E. NOTICE OF CONDEMNATION FOR SLOPE RIGHTS IN FAVOR OF THE STATE OF CONNECTICUT DATED JANUARY 21, 1999 AND RECORDED FEBRUARY 5, 1999 IN VOLUME 416 AT PAGE 898 OF THE BERLIN LAND RECORDS (PLOTTED)
 - F. RIGHT OF WAY AND EASEMENT AGREEMENT IN FAVOR OF WILLIAMS COMMUNICATIONS, INC., DBA VVXX, INC. DATED AUGUST 2, 2000 AND RECORDED AUGUST 14, 2000 IN VOLUME 437 AT PAGE 61 OF THE BERLIN LAND RECORDS (PLOTTED)
 - G. NOTICE OF CONDEMNATION IN FAVOR OF THE STATE OF CONNECTICUT (RAILROAD BRIDGE OVER CONNECTICUT ROUTE 372) DATED DECEMBER 13, 2000 AND RECORDED JANUARY 5, 2001 IN VOLUME 442 AT PAGE 66 OF THE BERLIN LAND RECORDS (NOT PLOTTED)
 - H. RULES AND REGULATIONS OF THE BERLIN WETLANDS AND WATERCOURSES COMMISSION (NOT PLOTTED)
 - J. SPECIAL PERMIT FROM THE TOWN OF BERLIN RECORDED JANUARY 24, 2008 IN VOLUME 598 AT PAGE 493 OF THE BERLIN LAND RECORDS AS AMENDED BY THE BERLIN PLANNING & ZONING COMMISSION ON MAY 15, 2008 TO REPLACE RESIDENTIAL USES WITH OFFICE AND STUDIO USES (NOT PLOTTED)
 - K. CONSERVATION EASEMENT TO BE GRANTED TO THE BERLIN LAND TRUST ALONG THE SOUTHERLY BOUNDARY OF THE PROPERTY AS SHOWN ON MAP 3800 (NOT PLOTTED)
 - L. OPEN SPACE PARCEL (1.308 ACRES) WITH CONSERVATION RESTRICTIONS AND ACCESS RIGHTS CONVEYED TO THE TOWN OF BERLIN AND BERLIN LAND TRUST, INC. FOR OPEN SPACE/CONSERVATION PURPOSES DATED JANUARY 22, 2014 AND RECORDED IN VOLUME 695 AT PAGE 490 OF THE BERLIN LAND RECORDS (PLOTTED)
 - M. RIGHT TO SLOPE IN FAVOR OF THE STATE OF CONNECTICUT AS SET FORTH IN A CERTIFICATE OF CONDEMNATION DATED JANUARY 16, 2009 AND RECORDED IN VOLUME 612 AT PAGE 461 OF THE BERLIN LAND RECORDS (PLOTTED)
 - N. POSSIBLE DRIVEWAY AND CONCRETE PAD ENCROACHMENTS AS SHOWN ON SAID MAP 3800 (NOT PLOTTED)
 - O. RELEASE IN FAVOR OF THE TOWN OF BERLIN WITH RESPECT TO THE INSTALLATION, CONNECTION AND MAINTENANCE OF WATER AND SEWER LATERALS THAT CONNECT TO AND SERVICE 848 FARMINGTON AVENUE DATED SEPTEMBER 28, 2009 AND RECORDED IN VOLUME 623 AT PAGE 763 OF THE BERLIN LAND RECORDS (NOT PLOTTED)
 - P. PARKING LICENSE AGREEMENT BETWEEN DEPOT CROSSING, INC. AND BERLIN LAND TRUST, INC. DATED JANUARY 22, 2014 AND RECORDED IN VOLUME 695 AT PAGE 478 OF THE BERLIN LAND RECORDS (NOT PLOTTED)
 - Q. RESTRICTIONS AS TO FOUR AFFORDABLE UNITS AS PROVIDED IN AGREEMENT BY AND BETWEEN THE TOWN OF BERLIN, NEW ENGLAND CAPITAL GROUP LLC, DEPOT CROSSING, INC. AND THE CORPORATION FOR INDEPENDENT LIVING DATED JANUARY 22, 2014 AND RECORDED IN VOLUME 695 AT PAGE 558 OF THE BERLIN LAND RECORDS AS AMENDED BY PARTIAL RELEASE OF AGREEMENT BY AND BETWEEN THE TOWN OF BERLIN AND DEPOT CROSSING, INC. DATED JANUARY 27, 2020 AND RECORDED JANUARY 27, 2020 IN THE BERLIN LAND RECORDS (NOT PLOTTED)
 - R. PARKING LICENSE AGREEMENT BETWEEN DEPOT CROSSING, INC. AND THE BERLIN LAND TRUST, INC. DATED JANUARY 22, 2014 AND RECORDED IN VOLUME 695 AT PAGE 560 OF THE BERLIN LAND RECORDS (NOT PLOTTED)
 - S. TOWN OF BERLIN NOTICE OF DECISION DATED DECEMBER 18, 2013 AND RECORDED IN VOLUME 695 AT PAGE 981 OF THE BERLIN LAND RECORDS (NOT PLOTTED)
 - T. EASEMENT TO THE STATE OF CONNECTICUT DATED APRIL 19, 2016 AND RECORDED IN VOLUME 722 AT PAGE 501 OF THE BERLIN LAND RECORDS AND SHOWN ON MAP 4245 (PLOTTED)
6. BEARINGS ARE REFERENCED TO NORTH AMERICAN DATUM OF 1983 (NAD83).
7. ELEVATIONS ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- CONTOUR INTERVAL IS 2'-FOOT
8. THIS PLAN REPRESENTS THE LOCATION OF THE BOUNDS AND SITE CONDITIONS DETERMINED BY FIELD SURVEY JANUARY 2024. RECORD TITLE AND ADJOINER INFORMATION WAS OBTAINED FROM TAX ASSESSOR AND LAND EVIDENCE RECORDS FEBRUARY 2024.
9. UNDERGROUND UTILITY, STRUCTURE, AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES, AND/OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON SITE. THE EXISTENCE, SIZE, AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO BEGINNING CONSTRUCTION. CALL "CALL BEFORE YOU DIG" AT 811 OR 1-800-922-4455

ZONING TABLE	
RESIDENTIAL CCD-2 (COMMERCIAL CORE DESIGN-2)	
LOT AREA	REQUIRED 2 ACRES (MIN.)
FRONT YARD SETBACK	5'
SIDE YARD SETBACK	10'
REAR YARD SETBACK	20'
LOT WIDTH	NA
MAX. BUILDING COVERAGE	50%
MAX. IMPERVIOUS COVERAGE	90%

ZONING TABLE	
RESIDENTIAL R-11	
LOT AREA	REQUIRED 11,250 S.F.
FRONT YARD SETBACK	25'
SIDE YARD SETBACK	10'
REAR YARD SETBACK	40'
LOT WIDTH	75'



MAP REFERENCES:

1. CONVEYANCE AND EASEMENT PLAN; DEPOT CROSSING, INC.; FARMINGTON AVENUE (CT ROUTE 372) BERLIN, CONNECTICUT; SCALE: 1"=50'; DATE: 01/08/2014 REVISED 1/21/2014; BY BL COMPANIES; PROJECT NO. 4128 SHEET BS-2.
2. TOPOGRAPHIC SURVEY; LAND NOW OR FORMERLY DEPOT CROSSING, LLC; FARMINGTON AVENUE, KENSINGTON, CONNECTICUT; SCALE: 1"=20'; DATE: 10/25/2013; BY BL COMPANIES; PROJECT NO. 1304516 SHEET EX-1.
3. GRADING AND DRAINAGE PLAN; DEPOT CROSSING PROPOSED MIXED-USE DEVELOPMENT; FARMINGTON AVENUE (CONN. ROUTE 372) BOROUGH OF KENSINGTON, CONNECTICUT; SCALE: 1"=20'; DATE: 10/15/2013 REVISED 12/08/2016; BY BL COMPANIES; PROJECT NO. 1304516 SHEET GD-1.
4. SITE UTILITY PLAN; DEPOT CROSSING PROPOSED MIXED-USE DEVELOPMENT; FARMINGTON AVENUE (CONN. ROUTE 372) BOROUGH OF KENSINGTON, CONNECTICUT; SCALE: 1"=20'; DATE: 10/15/2013 REVISED 12/08/2013; BY BL COMPANIES; PROJECT NO. 1304516 SHEET SU-1.

LEGEND

- PROPERTY LINE
- PROPERTY CORNER
- EX. IRON PIN
- EX. MONUMENT
- EX. SANITARY MANHOLE
- EX. STORM MANHOLE
- EX. CATCH BASIN
- EX. LIGHT
- EX. HYDRANT
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- EX. EDGE OF ROAD
- EX. EDGE OF BIT CURB
- EX. EDGE OF CONC CURB
- EX. SANITARY SEWER LINE
- EX. WATER LINE
- EX. GUIDE RAIL
- EX. CONTOUR
- EX. WELL

Disclaimer:
The underground utilities shown have been located from limited field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. To meet the requirements of our professional liability insurance, the terms CERTIFICATE, CERTIFY, AND CERTIFICATION mean to the best information, knowledge, and belief of the engineer; and are not an unconditional certification, warranty or guarantee which are not covered under the policy.

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISION-7:		
REVISION-6:		
REVISION-5:		
REVISION-4:		
REVISION-3:		
REVISION-2:		
REVISION-1:		
PROJECT:	DB:JG	SR:EF DR:---

SURVEY NOTES:
THIS MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE "MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS REVISED 2018-10-26 FOR USE BY THE REGULATIONS OF CONNECTICUT STATE AGENCIES. (CT SECTIONS 20-300b-1 TO 20-300b-20).

THE TYPE OF SURVEY PERFORMED IS AN IMPROVEMENT LOCATION SURVEY.

BOUNDARY DETERMINATION IS BASED UPON A RESURVEY.

THIS SURVEY CONFORMS TO CLASS A-2.

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

James N. Sakonchick
James N. Sakonchick
CT P.E. & L.S. #11302

kratzer, jones & associates, inc.
KJA
CIVIL ENGINEERS • LAND SURVEYORS
SITE PLANNERS • BUILDING ENGINEERS

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1755 MERIDEN-WATERBURY RD.
MILLDALE, CT 06467-0337

PHONE: (860) 621-3638
FAX: (860) 621-9809
EMAIL: INFO@KRATZERTJONES.COM

BOUNDARY MAP

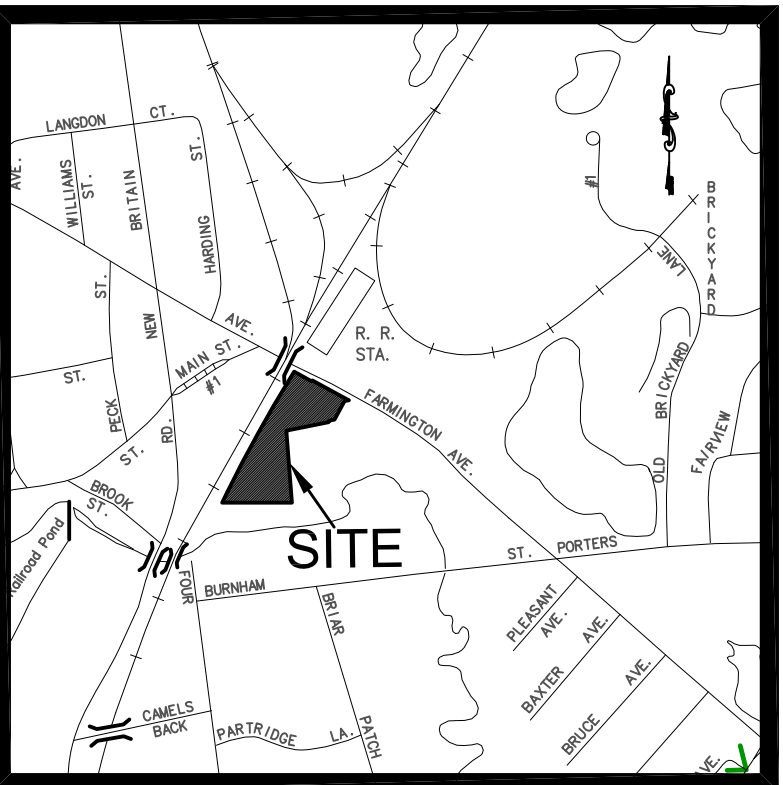
for
NEWPORT 848 FARMINGTON AVE LLC

**848 FARMINGTON AVENUE
BERLIN, CT**

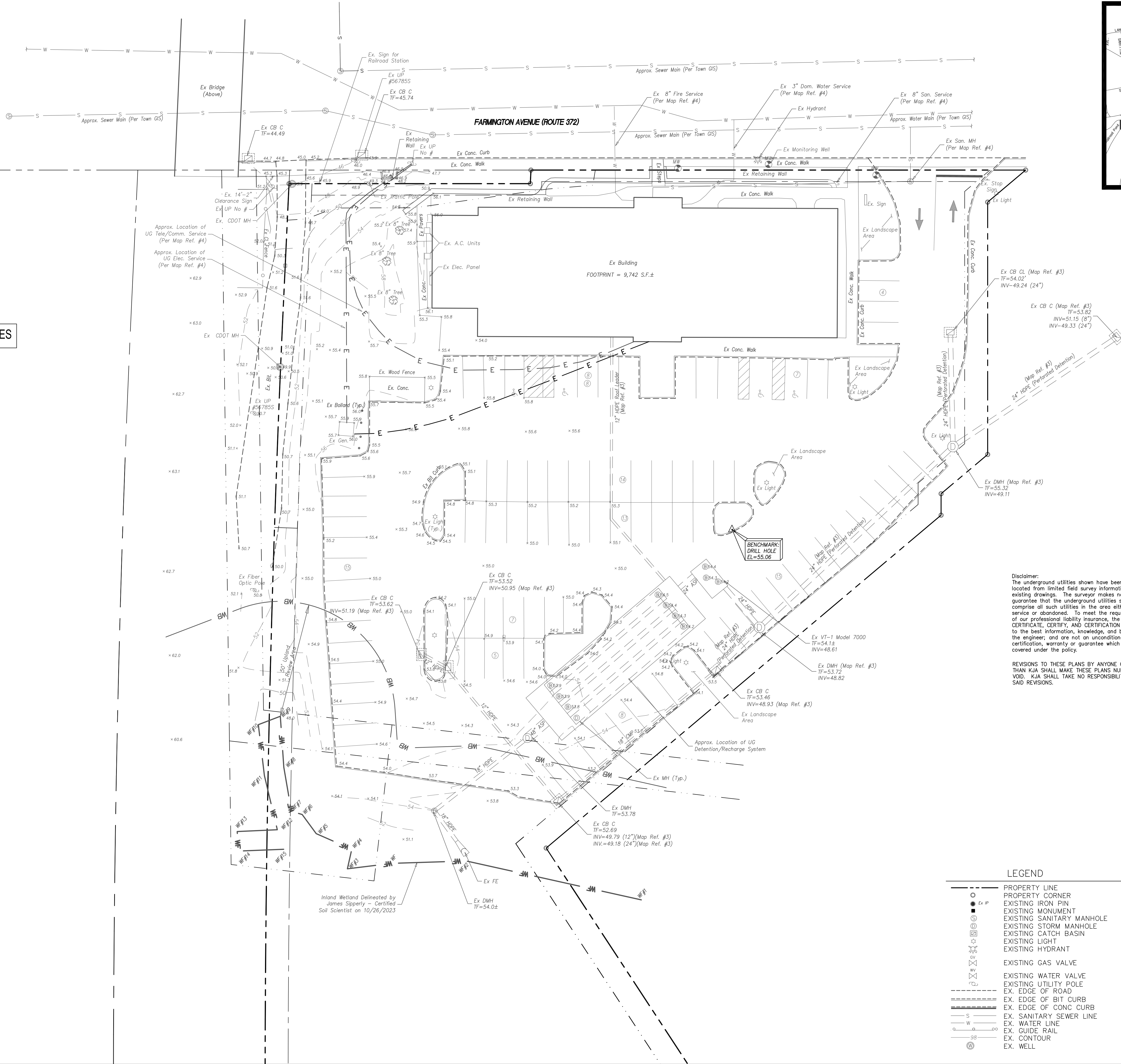
SCALE: 1" = 50'
DATE: JANUARY 12, 2024

HALF	ONE INCH	TWO INCH
INCHES ON ORIGINAL		

KJA FILE NO.: DRAWING NO.:
223-123 B-1



AREA MAP (1"=1000')



SEE SHEET B-1 BOUNDARY INFORMATION AND SURVEY NOTES

REVISION-7:		
REVISION-6:		
REVISION-5:		
REVISION-4:		
REVISION-3:		
REVISION-2:		
REVISION-1:		
PROJECT:	DB:JG	SR:EF DR:---

SURVEY NOTES:
 THIS MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE "MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS REVISED 2018-10-26 FOR USE BY THE REGULATIONS OF CONNECTICUT STATE AGENCIES. (CT SECTIONS 20-300b-1 TO 20-300b-20).
 THE TYPE OF SURVEY PERFORMED IS AN IMPROVEMENT LOCATION SURVEY.
 BOUNDARY DETERMINATION IS BASED UPON A RESURVEY.
 THIS SURVEY CONFORMS TO CLASS T-2.
 TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

James N. Sakonchick
 James N. Sakonchick
 CT P.E. & L.S. #11302

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kratzer, KJA jones & associates, inc.

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 PHONE: (860) 621-3638
 FAX: (860) 621-9809
 EMAIL: INFO@KRATZERTJONES.COM

EXISTING CONDITIONS MAP

for
NEWPORT 848 FARMINGTON AVE LLC

848 FARMINGTON AVENUE BERLIN, CT

SCALE: 1" = 20'
 DATE: JANUARY 12, 2024

HALF	ONE INCH	TWO INCH
INCHES ON ORIGINAL		

KJA FILE NO.: **223-123**
 DRAWING NO.: **E-1**

I DELINEATED THE INLAND WETLANDS AND WATERCOURSE BOUNDARIES ON THIS PROPERTY.
 I AM OF THE OPINION THAT THE WETLAND AND WATERCOURSE BOUNDARIES WHICH I MARKED ON THE PROPERTY IS SHOWN TRUTHFULLY ON THIS MAP

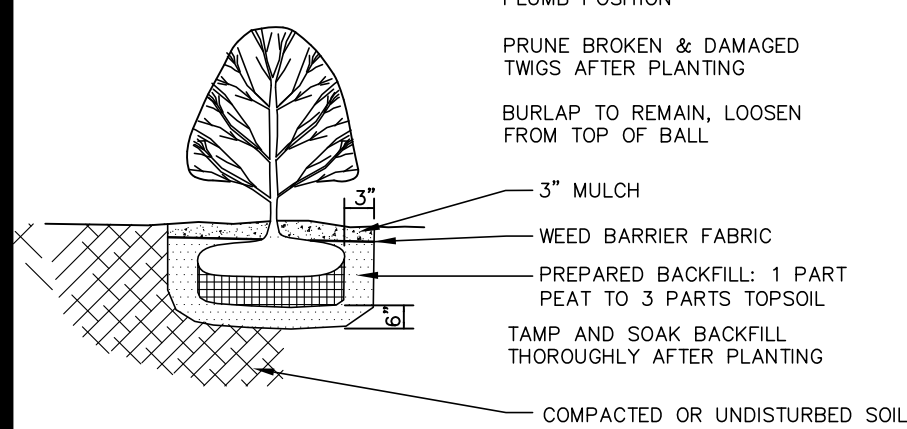
SIGNATURE OF SOIL SCIENTIST: *James Sipperly*
 DATE: _____
 JAMES SIPPERLY - CERTIFIED SOIL SCIENTIST

LEGEND

---	PROPERTY LINE
●	PROPERTY CORNER
○	EXISTING IRON PIN
⊙	EXISTING MONUMENT
⊕	EXISTING SANITARY MANHOLE
⊗	EXISTING STORM MANHOLE
⊘	EXISTING CATCH BASIN
⊙	EXISTING LIGHT
⊙	EXISTING HYDRANT
⊙	EXISTING GAS VALVE
⊙	EXISTING WATER VALVE
---	EXISTING UTILITY POLE
---	EX. EDGE OF ROAD
---	EX. EDGE OF BIT CURB
---	EX. EDGE OF CONC CURB
---	EX. SANITARY SEWER LINE
---	EX. WATER LINE
---	EX. GUIDE RAIL
---	EX. CONTOUR
---	EX. WELL

SHRUB PLANTING

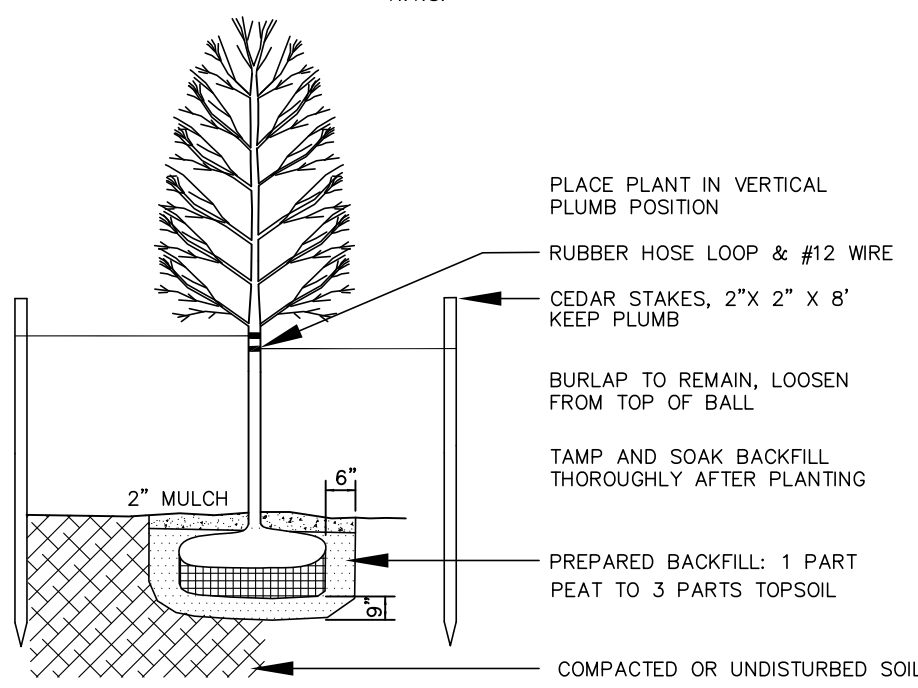
N.T.S.



PLANTING LIST SYMBOL	QUAN.	NAME	SIZE
	2	MOUNTAIN LAUREL	15"-18"
	2	RHODODENDRON	3 GALLON
	2	KNOCK OUT ROSES	18"-24"
	2	AZALEA	2 GALLON

DECIDUOUS TREE PLANTING

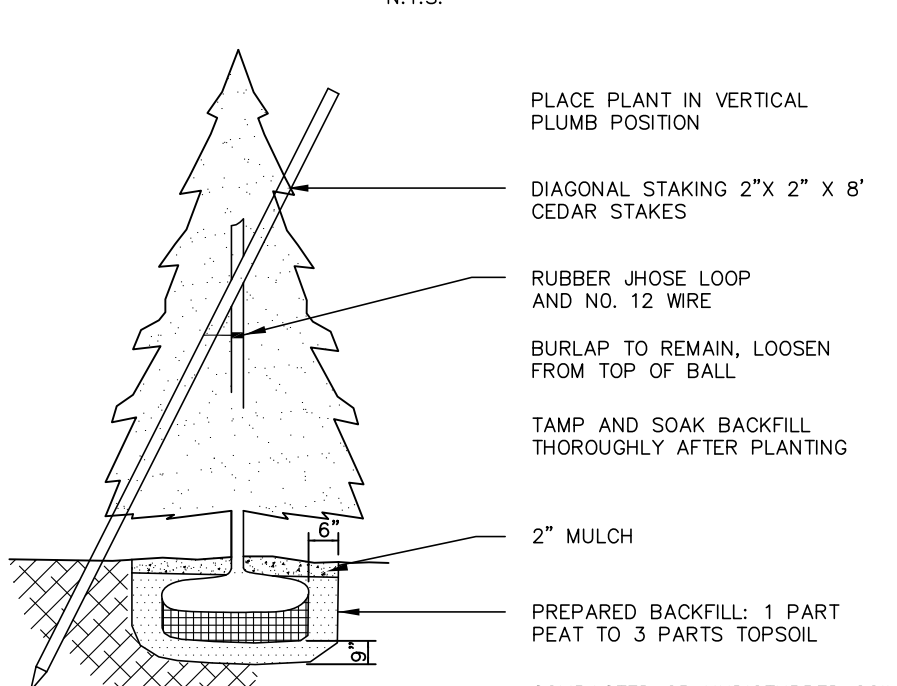
N.T.S.



PLANTING LIST SYMBOL	QUAN.	NAME	SIZE
	1	SUGAR MAPLE	2 1/2" MIN. CALIPER
	2	PINK DOGWOOD	2 1/2" MIN. CALIPER
	1	FLOWERING CHERRY	2 1/2" MIN. CALIPER

CONIFEROUS TREE PLANTING

N.T.S.

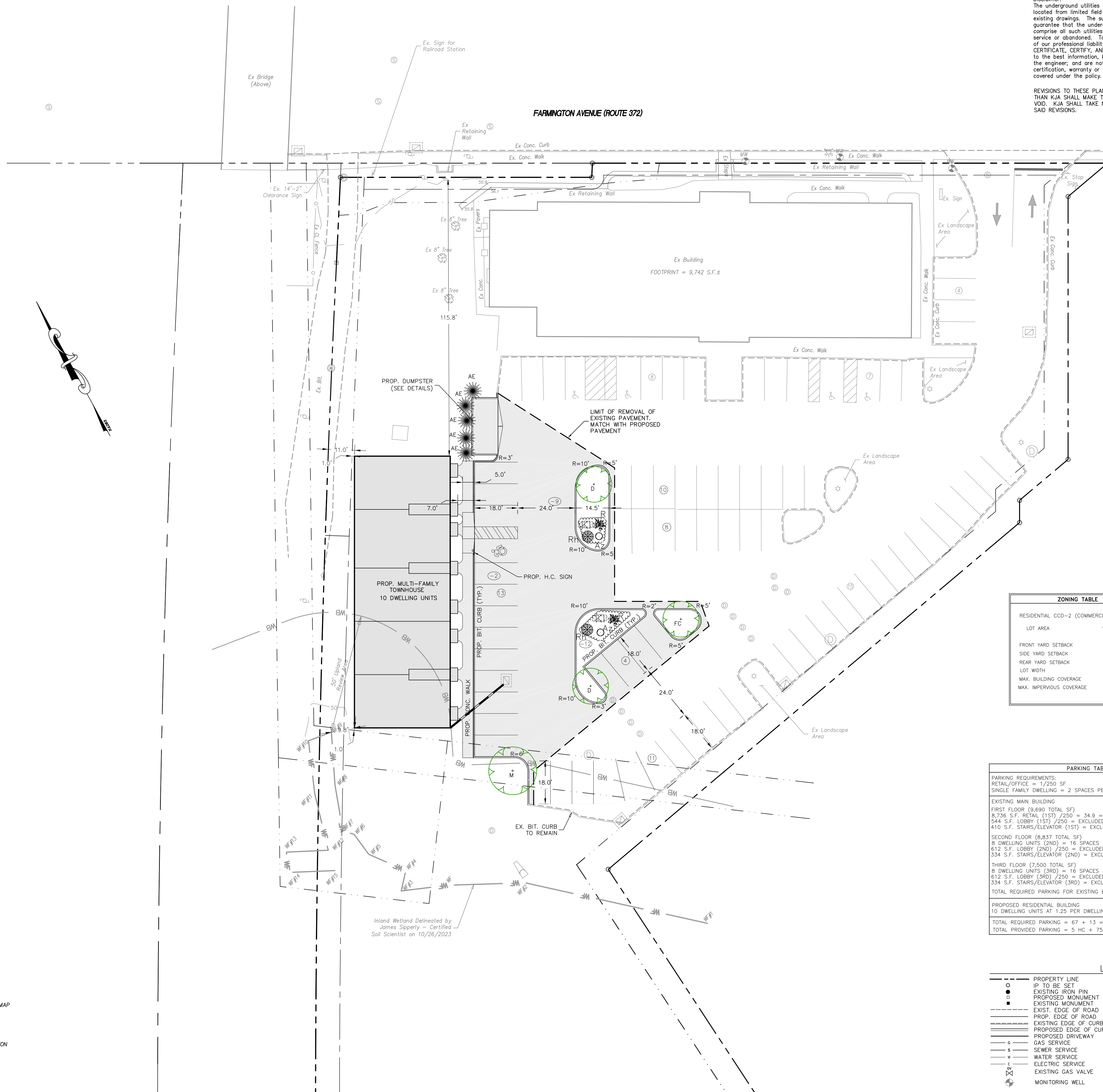


PLANTING LIST SYMBOL	QUAN.	NAME	SIZE
	6	ARBORVITAE	5'-6"

- NOTES:**
1. PARCEL OWNER: NEWPORT 848 FARMINGTON AVE, LLC
 2. AREA: 4.0 AC.±
 3. ADDRESS: 848 FARMINGTON AVENUE, BERLIN, CT
 4. ZONE: CCD-2 & R-11 (SEE ZONING TABLES)

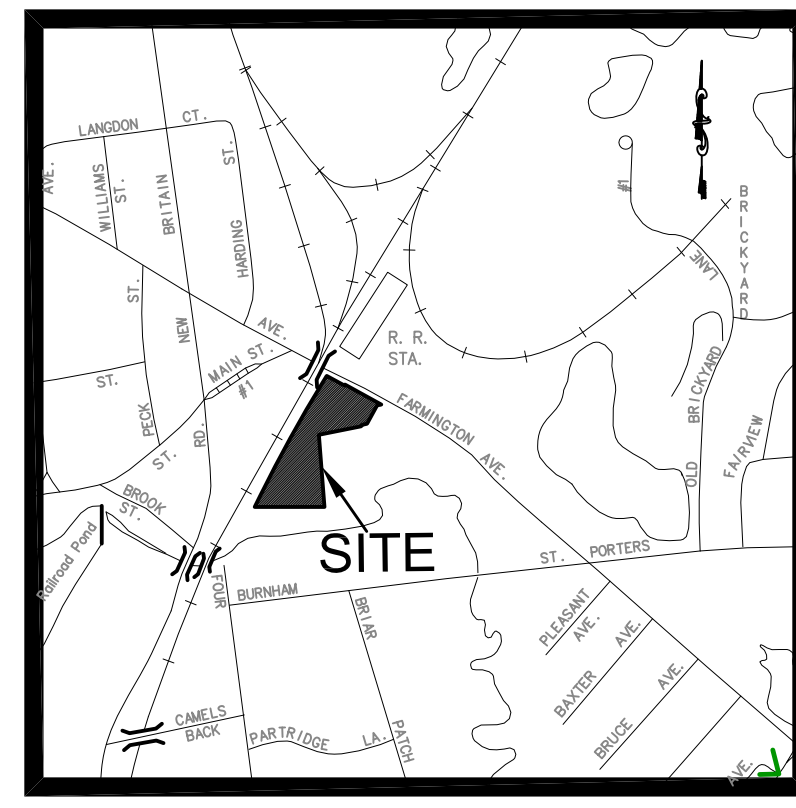
- LANDSCAPE NOTES:**
1. ALL PLANTS SHALL BE OF FIRST CLASS QUALITY AND SHALL MEET THE REQUIREMENTS OF THE PLANT LIST. PLANTS SHALL BE SUBJECT TO INSPECTION AND REJECTION BY THE OWNER AND/OR LANDSCAPE ARCHITECT. NO SUBSTITUTIONS SHALL BE ALLOWED UNLESS APPROVED.
 2. SHRUBS SHALL BE SET IN BEDS WITH TOPSOIL 12" BELOW AND AROUND EACH SHRUB. SET SHRUBS UPRIGHT IN CENTER OF EACH PIT AND AT A DEPTH SO THAT THE FINISHED GRADE IS LEVEL AT THE PLANT. AFTER SETTLEMENT THE GRADE WILL BE THE SAME AS THE GENERAL LEVEL OF THE PLANT BED AND AT THE HEIGHT AS WHEN GROWING. WATER, BACKFILL, PLUDGE, AND TAMP IN THE ACCEPTED APPROVED MANNER TO COMPLETE PLANTING. SHRUBS AND PRUNE OUT ALL DEAD TWIGS.
 3. INSTALL SHREDED BARK MULCH AND STONE MULCH TO DEPTH OF 3". STONE MULCH TO BE USED IN ALL ISLANDS. MULCH TO BE APPROVED BEFORE INSTALLATION.
 4. BARE AND DISTURBED AREAS SHALL BE SEEDED, IF NOT NOTED FOR TURF. PREPARE, SCARIFY AND APPLY SEED IN APPROVED MANNER.
 5. ALL PLANTINGS INCLUDING SEED MIXES SHALL BE NATIVE.

- MAP REFERENCES:**
1. CONVEYANCE AND EASEMENT PLAN; DEPOT CROSSING, INC.; FARMINGTON AVENUE (CT ROUTE 372) BERLIN, CONNECTICUT; SCALE: 1"=50'; DATE: 01/08/2014 REVISED 1/21/2014; BY BL COMPANIES; MAP 4128 SHEET BS-2.
 2. TOPOGRAPHIC SURVEY; LAND NOW OR FORMERLY DEPOT CROSSING, LLC; FARMINGTON AVENUE, KENSINGTON, CONNECTICUT; SCALE: 1"=20'; DATE: 10/25/2013; BY BL COMPANIES; PROJECT NO. 13C4516 SHEET EX-1.
 3. GRADING AND DRAINAGE PLAN; DEPOT CROSSING PROPOSED MIXED-USE DEVELOPMENT; FARMINGTON AVENUE (CONN. ROUTE 372) BOROUGH OF KENSINGTON, CONNECTICUT; SCALE: 1"=20'; DATE: 10/15/2013 REVISED 12/08/2016; BY BL COMPANIES. PROJECT NO. 13C4516 SHEET CO-1.
 4. SITE UTILITY PLAN; DEPOT CROSSING PROPOSED MIXED-USE DEVELOPMENT; FARMINGTON AVENUE (CONN. ROUTE 372) BOROUGH OF KENSINGTON, CONNECTICUT; SCALE: 1"=20'; DATE: 10/15/2013 REVISED 12/08/2013; BY BL COMPANIES; PROJECT NO. 13C4516 SHEET SJ-1.



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REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.



AREA MAP (1"=1000')

REVISION	DATE	BY	DESCRIPTION
REVISION-7			
REVISION-6			
REVISION-5			
REVISION-4			
REVISION-3			
REVISION-2			
REVISION-1			

DB:JG SR:EF DR:---

Andrew J. Quirk
CT P.E. #22588

kratzer, KJA jones & associates, inc.
CIVIL ENGINEERS • LAND SURVEYORS
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MILLDALE, CT 06467-0337

PHONE: (860) 621-3638
FAX: (860) 621-9609
EMAIL: INFO@KRATZERTJONES.COM

LAYOUT & LANDSCAPING PLAN

for
NEWPORT 848 FARMINGTON AVE LLC

848 FARMINGTON AVENUE
BERLIN, CT

SCALE: 1" = 20'
DATE: AUGUST 27, 2024

HALF ONE INCH TWO INCH
INCHES ON ORIGINAL

KJA FILE NO.: 223-123
DRAWING NO.: L-1

ZONING TABLE

RESIDENTIAL CCD-2 (COMMERCIAL CORE DESIGN-2)

LOT AREA	REQUIRED
2 ACRES (MIN.)	
FRONT YARD SETBACK	5'
SIDE YARD SETBACK	10'
REAR YARD SETBACK	20'
LOT WIDTH	NA
MAX. BUILDING COVERAGE	50%
MAX. IMPERVIOUS COVERAGE	90%

PARKING TABLE

PARKING REQUIREMENTS:
RETAIL/OFFICE = 1/250 SF
SINGLE FAMILY DWELLING = 2 SPACES PER DWELLING UNIT

EXISTING MAIN BUILDING
FIRST FLOOR (9,690 TOTAL SF)
8,736 S.F. RETAIL (1ST) /250 = 34.9 = 35 SPACES
544 S.F. LOBBY (1ST) /250 = EXCLUDED
410 S.F. STAIRS/ELEVATOR (1ST) = EXCLUDED

SECOND FLOOR (8,837 TOTAL SF)
8 DWELLING UNITS (2ND) = 16 SPACES
612 S.F. LOBBY (2ND) /250 = EXCLUDED
334 S.F. STAIRS/ELEVATOR (2ND) = EXCLUDED

THIRD FLOOR (7,500 TOTAL SF)
8 DWELLING UNITS (3RD) = 16 SPACES
612 S.F. LOBBY (3RD) /250 = EXCLUDED
334 S.F. STAIRS/ELEVATOR (3RD) = EXCLUDED

TOTAL REQUIRED PARKING FOR EXISTING BUILDING = 67 SPACES

PROPOSED RESIDENTIAL BUILDING
10 DWELLING UNITS AT 1.25 PER DWELLING UNIT = 12.5 = 13 SPACES

TOTAL REQUIRED PARKING = 67 + 13 = 80 SPACES
TOTAL PROVIDED PARKING = 5 HC + 75 STANDARD = 80 TOTAL SPACES

LEGEND

	PROPERTY LINE		EX. CATCH BASIN
	IP TO BE SET		PROP. CATCH BASIN
	EXISTING IRON PIN		STORM DRAINAGE MANHOLE
	PROPOSED MONUMENT		SANITARY SEWER MANHOLE
	EXISTING MONUMENT		UTILITY POLE
	EXIST. EDGE OF ROAD		WATER GATE
	PROP. EDGE OF ROAD		HYDRANT
	EXISTING EDGE OF CURB		LIGHT POLE
	PROPOSED EDGE OF CURB		DUMPSTER
	PROPOSED DRIVEWAY		
	GAS SERVICE		
	SEWER SERVICE		
	WATER SERVICE		
	ELECTRIC SERVICE		
	EXISTING GAS VALVE		
	MONITORING WELL		

EROSION AND SEDIMENTATION CONTROL NOTES:

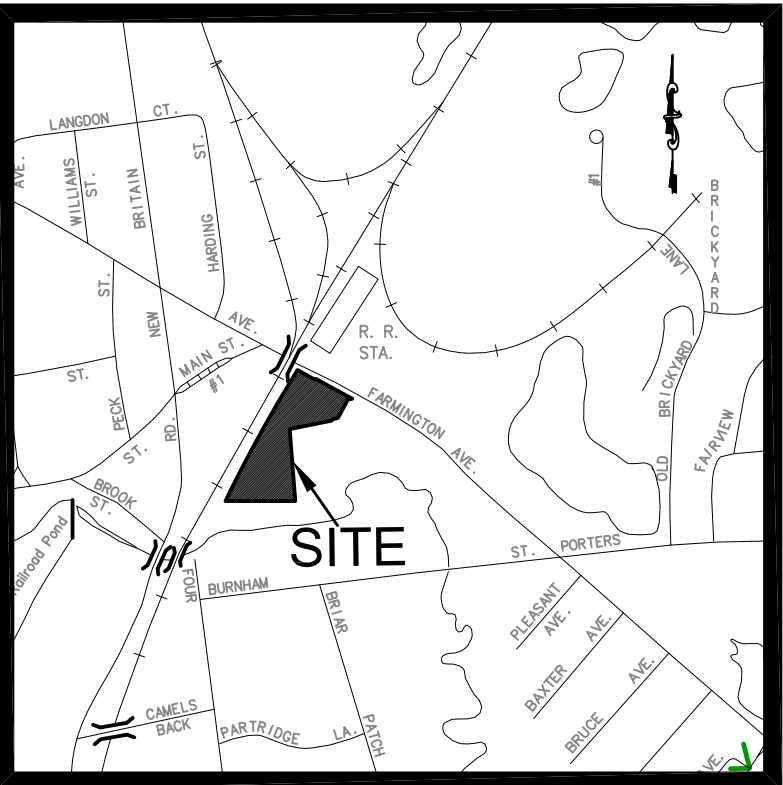
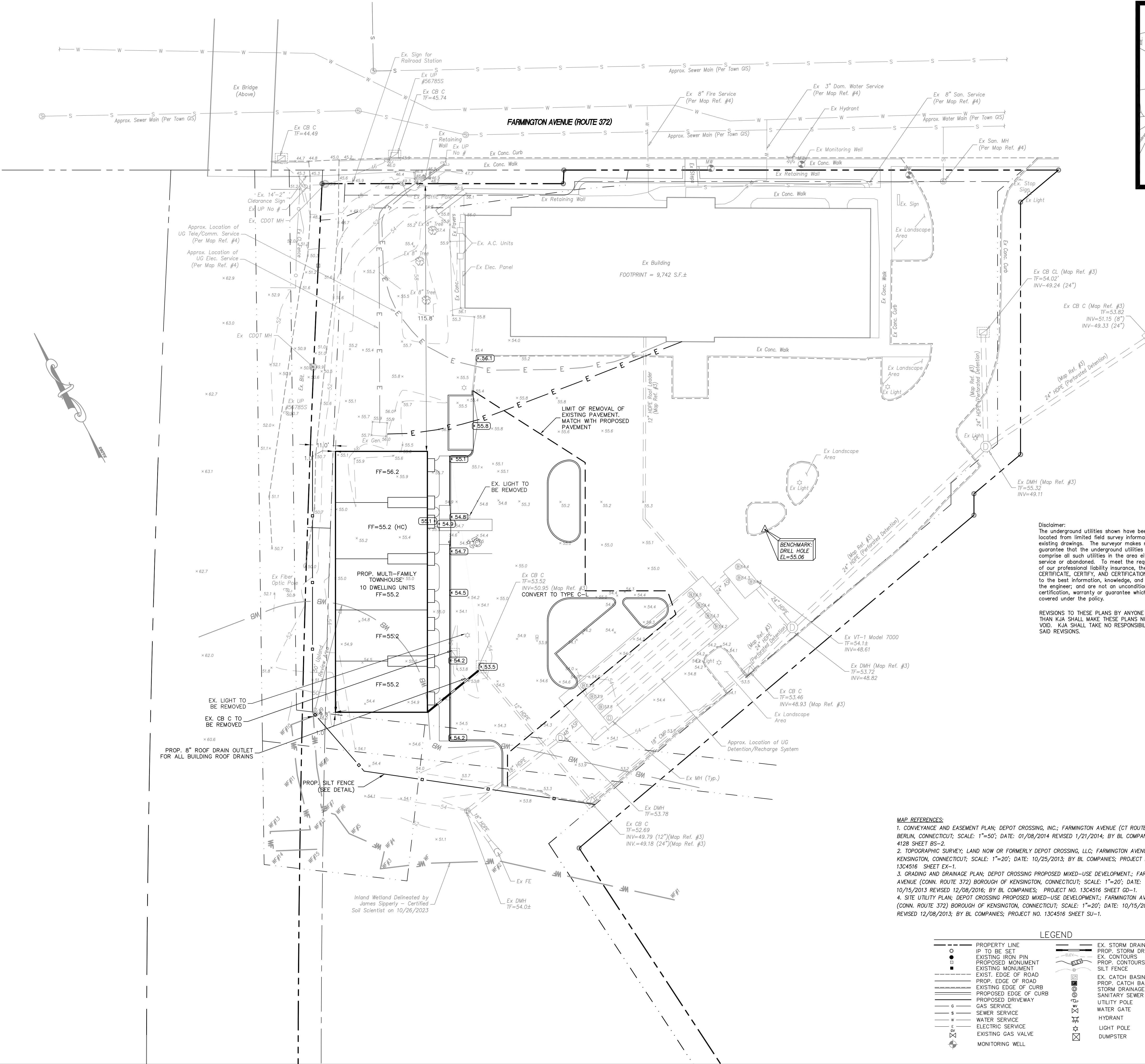
- LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM. RESTABILIZATION SHALL BE SCHEDULED AS SOON AS PRACTICABLE. FOR THOSE AREAS WHICH ARE LEFT EXPOSED FOR MORE THAN 30 DAYS TEMPORARY SEEDING FOR STABILIZATION SHALL BE UTILIZED. ANNUAL RYEGRASS MAY BE UTILIZED OR AN APPROVED EQUAL.
- SLOPES SHALL BE RESTRICTED TO 2' HORIZONTAL/1' VERTICAL MAXIMUM OR FLATTER THROUGH GRADING AND/OR RETAINING WALLS.
- DISTURBED AREAS, EXCEPT PAVED AREAS, SHALL BE LOAMED (4" MIN.) AND SEEDED OR MULCHED.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE EROSION AND SEDIMENTATION CONTROL HANDBOOK.
- THE APPLICATION AND SPECIFIC DETAILS OF THE EROSION AND SEDIMENTATION CONTROL SHALL FOLLOW THE CT COUNCIL ON SOIL AND WATER CONSERVATION MANUAL ENTITLED "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", DATED JANUARY 1985 AS AMENDED TO DATE.
- ALL CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
- ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF DEEMED NECESSARY BY THE TOWN PLANNER AND/OR THE TOWN ENGINEER.
- SEDIMENTATION BARRIERS TO BE FIBRETEX 150 GRADE, APPROVED EQUAL OR STAKED STRAW BALES.
- SEDIMENTATION BARRIER TO BE INSTALLED AS SHOWN ON THIS PLAN PRIOR TO ANY CONSTRUCTION. PLOT PLANS FOR INDIVIDUAL LOTS SHALL CONTAIN DETAILED DELINEATION OF SILTATION BARRIERS INCLUDING ANY ADDITIONAL EROSION CONTROLS AS DEEMED NECESSARY.
- CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY UNFORESEEN FIELD CONDITIONS.
- ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS OF THE MUNICIPALITY.
- LOVELY DEVELOPMENT, INC. OR DULY AUTHORIZED AGENT (860) 276-8068 IS RESPONSIBLE FOR NOTIFYING THE MUNICIPALITIES PLANNING AND ENGINEERING DEPARTMENTS AT LEAST 24 HOURS IN ADVANCE OF START OF ANY CONSTRUCTION ACTIVITY.
- LOVELY DEVELOPMENT, INC. OR DULY AUTHORIZED AGENT (860) 276-8068 IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENTATION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFYING THE PLANNING AND ZONING OFFICE OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE OF THE LAND IS TRANSFERRED.
- SEDIMENT CONTROL: TEMPORARY PERVIOUS BARRIERS, USING STRAW BALES OR SILT FENCE, HELD IN PLACE WITH WOODEN STAKES SHALL BE USED AT ALL AREAS WHERE STORM WATER CONTAINING SUSPENDED SEDIMENT COULD DRAIN OFF SITE.
- SILT FENCE AND/OR STRAW BALES TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS. ANY DAMAGED BARRIERS SHALL BE REPLACED AND/OR RESET IMMEDIATELY FOLLOWING DAMAGE.
- PURSUANT TO THE REGULATIONS; A LAYER OF TOPSOIL SHALL BE SPREAD OVER THE EXCAVATED AREA, LOAMED & SEEDED, 4 INCHES MINIMUM IN DEPTH IN ACCORDANCE WITH THE APPROVED CONTOUR PLAN.

STANDARD SITE PLAN NOTES:

- PARCEL OWNER: NEWPORT 848 FARMINGTON AVE, LLC ADDRESS: 848 FARMINGTON AVENUE, BERLIN, CT
- CONTOUR INTERVAL = 2'
- ELEVATIONS BASED ON: NAVD88
- TOPOGRAPHY IS FROM FIELD SURVEY
- THE INDICATED EXISTING UTILITIES ARE BASED ON LIMITED INFORMATION. THE LOCATIONS ARE APPROXIMATE AND NOT GUARANTEED. ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO ANY EXCAVATION, CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455.
- CONTRACTOR REQUIRED TO FIELD VERIFY ALL DIMENSIONS, ELEVATIONS, QUANTITIES AND DETAILS PRIOR TO ANY CONSTRUCTION.
- LOT AREA = 4.0 AC±
- PROPERTY IS LOCATED IN ZONES CCD-2 & R-11 (SEE ZONING TABLES)
- ALL CONSTRUCTION SHALL CONFORM TO CONN. DOT 818
- SEE PARKING TABLE ON SHEET L-1 FOR PARKING REQUIREMENTS.
- LOT COVERAGE = 8.2% (ALLOWED = 50%)
- PRESENT LAND USE: RETAIL
- PROPOSED LAND USE: RESIDENTIAL/RETAIL
- PLANNING AND ENGINEERING DEPARTMENTS TO BE NOTIFIED AT (860) 828-7066 AND (860) 828-7022, 24 HOURS IN ADVANCE OF ANY CONSTRUCTION ACTIVITY.
- ALL WORK IN CONNECTION WITH THIS PLAN SHALL BE COMPLETED WITHIN FIVE YEARS OF THE DATE OF APPROVAL, OR THE APPROVAL IS NO LONGER VALID.
- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL SITE WORK IS COMPLETED, OR WHEN SPECIFICALLY APPROVED BY THE PLANNING AND ZONING COMMISSION.
- THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY STATE AND FEDERAL ENVIRONMENTAL PERMITS IF ANY.
- ALL PROPOSED LIGHTS TO BE RECESSED FULL CUTOFF FIXTURES WITH RECESSED LENSES ONLY. LIGHTS TO BE LEDS. BUILDING LIGHTS TO BE DIRECTED TOWARDS THE GROUND AND ALL FLOOD LAMPS TO BE FULL CUTOFF WITH RECESSED LENSES ONLY. LIGHTS TO BE LEDS.
- PROPERTY IS SERVED BY PUBLIC WATER AND PUBLIC SEWER.
- ANY DAMAGE CAUSED BY CONSTRUCTION OPERATIONS TO BE REPAIRED TO TOWN STANDARDS.
- ALL DEWATERING SHALL INCORPORATE THE USE OF FILTER BAGS ON DISCHARGE ENDS.
- RETAINING WALLS (IF NECESSARY) TO BE DESIGNED BY A CT PE. A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE WALLS.
- PROVIDE GUIDE RAIL AT RETAINING WALL IF NECESSARY.
- ALL CATCH BASINS TO BE INSPECTED AND CLEANED BI-ANNUALLY. ALL PAVED AREAS TO BE SWEEP BI-ANNUALLY. MATERIAL TO BE DISPOSED OF IN AN ENVIRONMENTALLY FRIENDLY MANNER.

CONSTRUCTION SEQUENCE:

- AN ON-SITE JOB MEETING TO DISCUSS AND PLAN IMPLEMENTATION OF EROSION CONTROLS SHALL TAKE PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY.
 - ESTABLISH EROSION AND SEDIMENTATION CONTROL MEASURES, AS SHOWN ON PLAN PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITY.
 - CALL BEFORE YOU DIG 1-800-922-4455.
 - GET APPROPRIATE PERMITS FOR DEMOLITION IF NEEDED.
 - START MASS EARTH MOVEMENT AND SITE REDEVELOPMENT.
 - CONSTRUCT SITE UTILITIES; PROTECT CATCH BASINS WITH STAKED HAY BALES. TRAP ANY SEDIMENT THAT ACCUMULATES DURING CONSTRUCTION.
 - FINISH GRADE AND PLACE GRAVEL BASE FOR PAVED AREAS.
 - CONSTRUCT CONCRETE WALKS AND PLACE BITUMINOUS CONCRETE.
 - FINISH GRADE SITE; SPREAD TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION; STABILIZE ALL SLOPES.
- | SUGGESTED SEED MIXTURE | LBS/AC | LBS/1000 SF |
|------------------------|--------|-------------|
| KENTUCKY BLUEGRASS | 20 | 0.45 |
| CREeping RED FESCUE | 20 | 0.45 |
| PERENNIAL RYEGRASS | 5 | 0.10 |
| | 45 | 1.00 |
- REMOVE SEDIMENT AND DISPOSE OF OFFSITE IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.
 - REMOVE ANTI-TRACKING PAD, REPAIR ANY DAMAGE TO CURBING.
 - AFTER DISTURBED AREAS HAVE HAD VEGETATION RE-ESTABLISHED ON THEM, SILTATION BARRIERS SHALL BE REMOVED.



AREA MAP (1"=1000')

REVISION-7:		
REVISION-6:		
REVISION-5:		
REVISION-4:		
REVISION-3:		
REVISION-2:		
REVISION-1:		
PROJECT:		
DB:JG	SR:EF	DR:---

Andrew J. Quirk
CT P.E. #22588

Disclaimer: The underground utilities shown have been located from limited field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. To meet the requirements of our professional liability insurance, the terms CERTIFICATE, CERTIFY, AND CERTIFICATION mean to the best information, knowledge, and belief of the engineer; and are not an unconditional certification, warranty or guarantee which are not covered under the policy.

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

kratzer, jones & associates, inc.
KJA
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GRADING & EROSION CONTROL PLAN

for
NEWPORT 848 FARMINGTON AVE LLC

**848 FARMINGTON AVENUE
BERLIN, CT**

SCALE: 1" = 20'
DATE: AUGUST 27, 2024

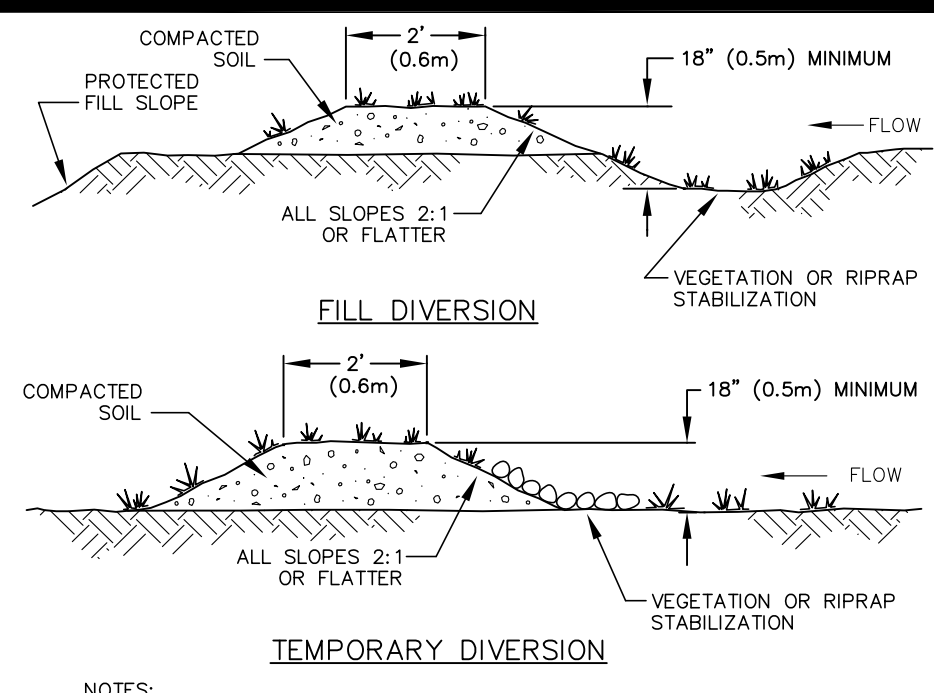
HALF	ONE INCH	TWO INCH
INCHES ON ORIGINAL		
KJA FILE NO.:	DRAWING NO.:	
223-123	G-1	

MAP REFERENCES:

- CONVEYANCE AND EASEMENT PLAN; DEPOT CROSSING, INC.; FARMINGTON AVENUE (CT ROUTE 372) BERLIN, CONNECTICUT; SCALE: 1"=50'; DATE: 01/08/2014 REVISED 1/21/2014; BY BL COMPANIES; MAP 4128 SHEET BS-2
- TOPOGRAPHIC SURVEY; LAND NOW OR FORMERLY DEPOT CROSSING, LLC; FARMINGTON AVENUE, KENSINGTON, CONNECTICUT; SCALE: 1"=20'; DATE: 10/25/2013; BY BL COMPANIES; PROJECT NO. 13C4516 SHEET EX-1.
- GRADING AND DRAINAGE PLAN; DEPOT CROSSING PROPOSED MIXED-USE DEVELOPMENT; FARMINGTON AVENUE (CONN. ROUTE 372) BOROUGH OF KENSINGTON, CONNECTICUT; SCALE: 1"=20'; DATE: 10/15/2013 REVISED 12/08/2016; BY BL COMPANIES; PROJECT NO. 13C4516 SHEET GD-1.
- SITE UTILITY PLAN; DEPOT CROSSING PROPOSED MIXED-USE DEVELOPMENT; FARMINGTON AVENUE (CONN. ROUTE 372) BOROUGH OF KENSINGTON, CONNECTICUT; SCALE: 1"=20'; DATE: 10/15/2013 REVISED 12/08/2013; BY BL COMPANIES; PROJECT NO. 13C4516 SHEET SU-1.

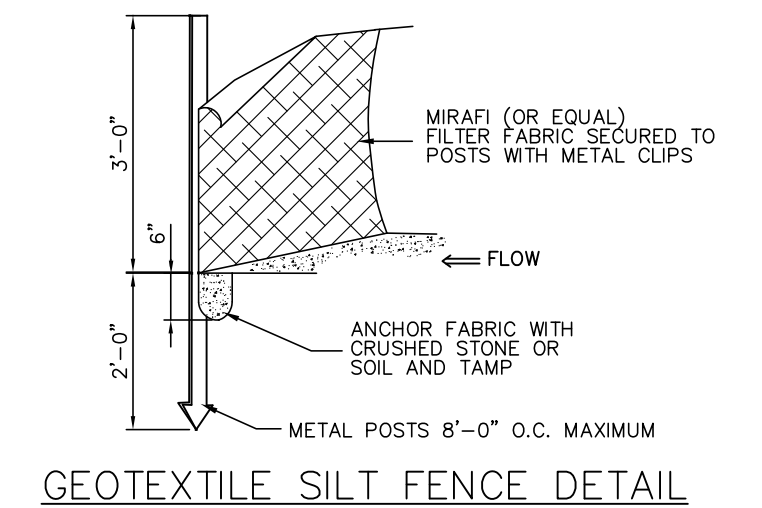
LEGEND

---	PROPERTY LINE	---	EX. STORM DRAINAGE
○	IP TO BE SET	---	PROP. STORM DRAINAGE
●	EXISTING IRON PIN	---	EX. CONTOURS
○	PROPOSED MONUMENT	---	PROP. CONTOURS
■	EXISTING MONUMENT	---	SILT FENCE
---	EXIST. EDGE OF ROAD	○	EX. CATCH BASIN
---	PROP. EDGE OF ROAD	○	PROP. CATCH BASIN
---	EXISTING EDGE OF CURB	○	STORM DRAINAGE MANHOLE
---	PROPOSED EDGE OF CURB	○	SANITARY SEWER MANHOLE
---	PROPOSED DRIVEWAY	○	UTILITY POLE
o	GAS SERVICE	o	WATER GATE
s	SEWER SERVICE	o	HYDRANT
w	WATER SERVICE	o	ELECTRIC SERVICE
e	ELECTRIC SERVICE	o	EXISTING GAS VALVE
o	MONITORING WELL	o	DUMPSTER

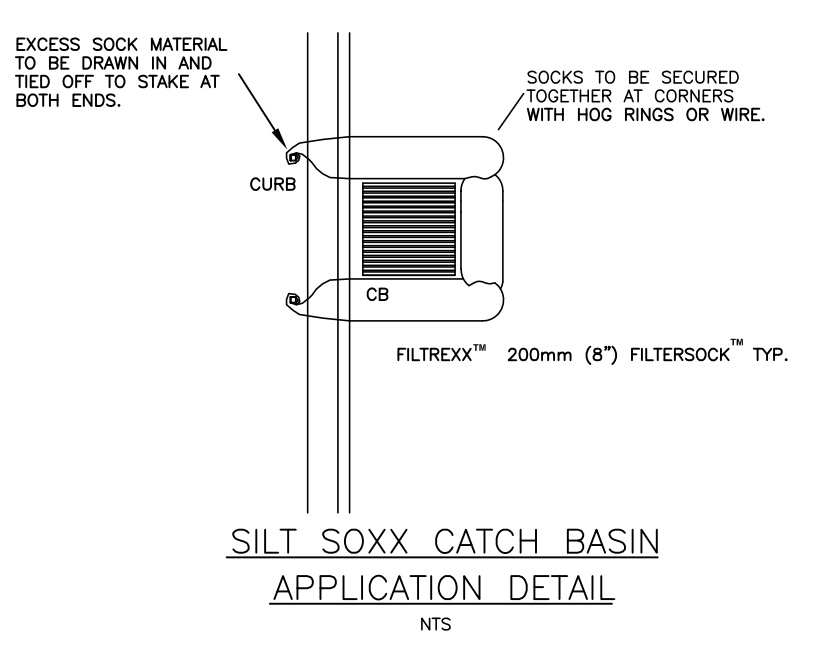


DIVERSION DIKES
N.T.S.

NOTES:
1. THE CHANNEL BEHIND THE DIKE SHALL HAVE POSITIVE GRADE TO A STABILIZED OUTLET.
2. THE DIKE SHALL BE ADEQUATELY COMPACTED TO PREVENT FAILURE.
3. THE DIKE SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT SEEDING OR RIPRAP.

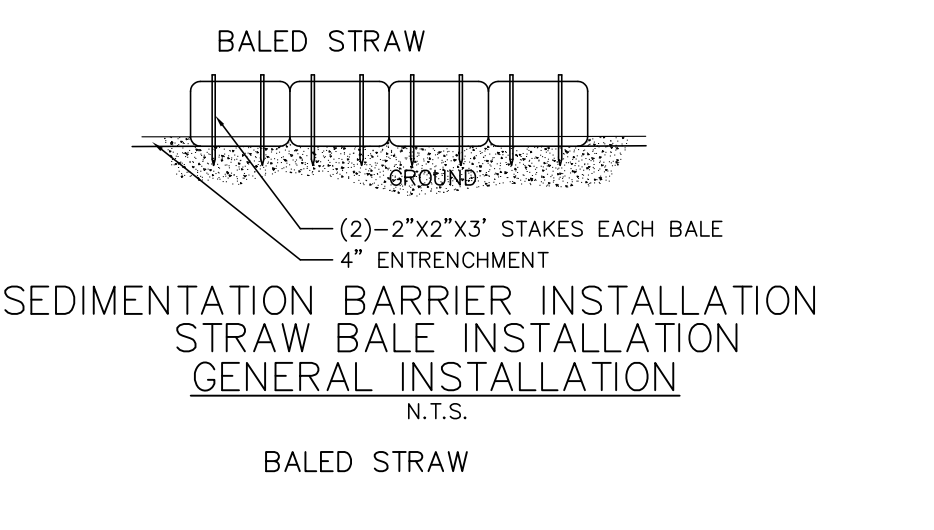


GEOTEXTILE SILT FENCE DETAIL
N.T.S.

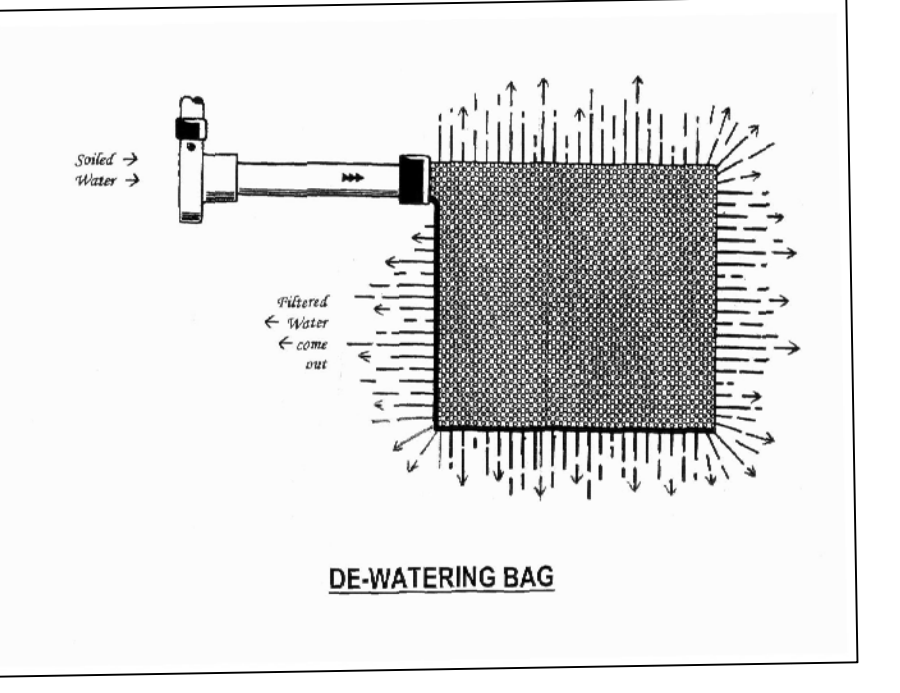


SILT SOXX CATCH BASIN APPLICATION DETAIL
N.T.S.

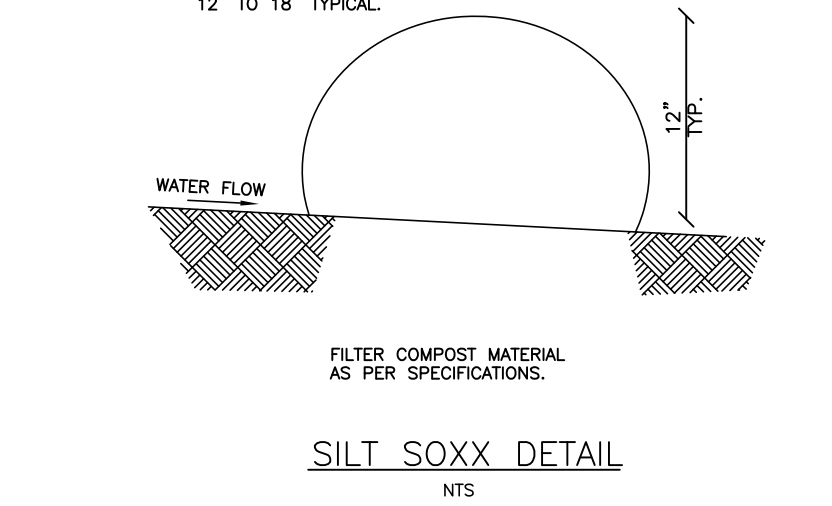
NOTES:
1. ALL MATERIAL TO MEET FILTREXX™ SPECIFICATIONS.
2. SECURE FILTERSOX TO GROUND AT EACH END.
SOCK OPTION:
FILTREXX™ FILTER SOCK, SIZED TO SUIT CONDITIONS, 12" TO 18" TYPICAL.



SEDIMENTATION BARRIER INSTALLATION STRAW BALE GENERAL INSTALLATION
N.T.S.

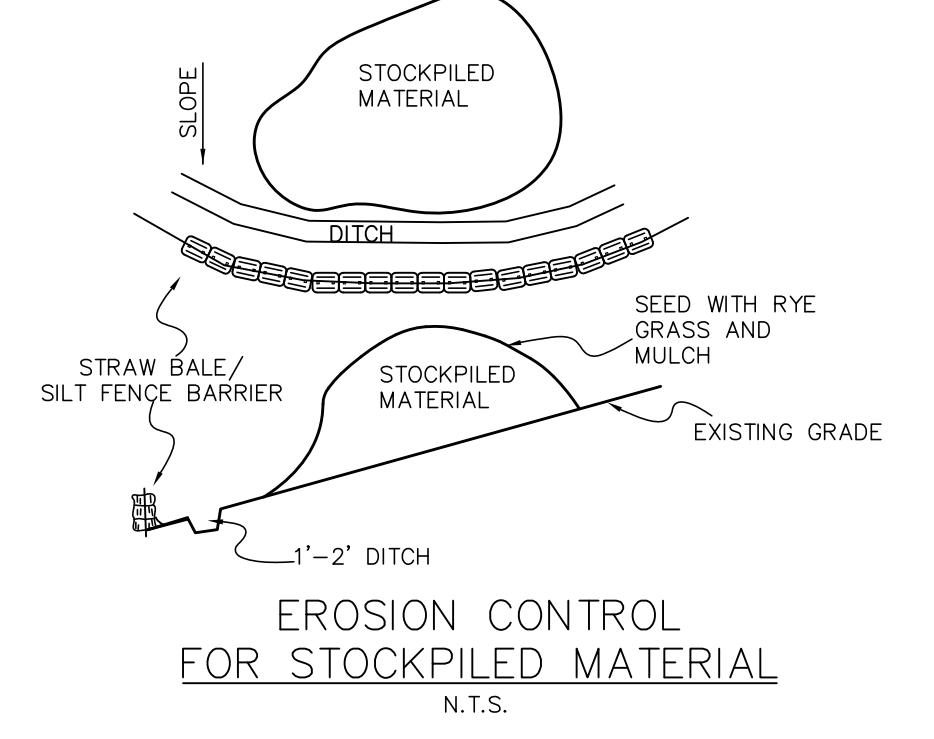


DE-WATERING BAG
N.T.S.

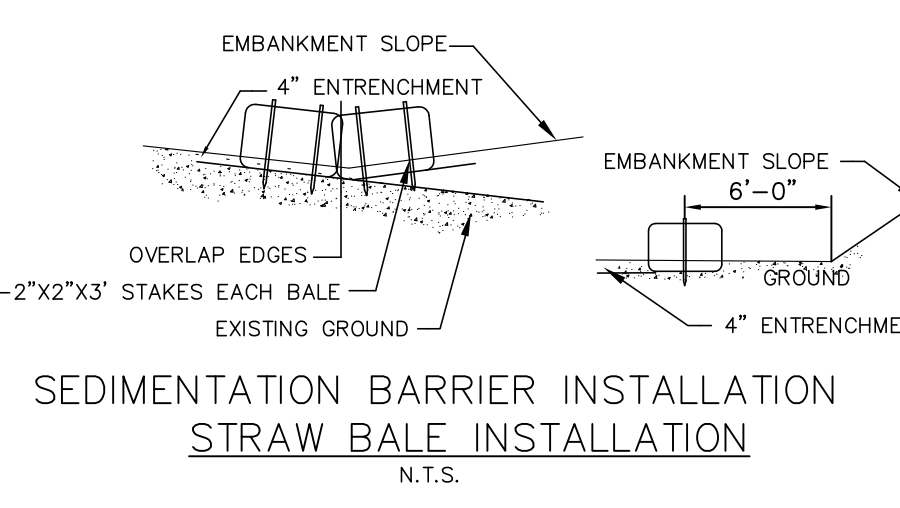


SILT SOXX DETAIL
N.T.S.

NOTE:
1. MULCH LOG SPECIFIED AS FILTREXX SILT SOXX. CONTRACTOR MAY SUBSTITUTE WITH APPROVED EQUAL.

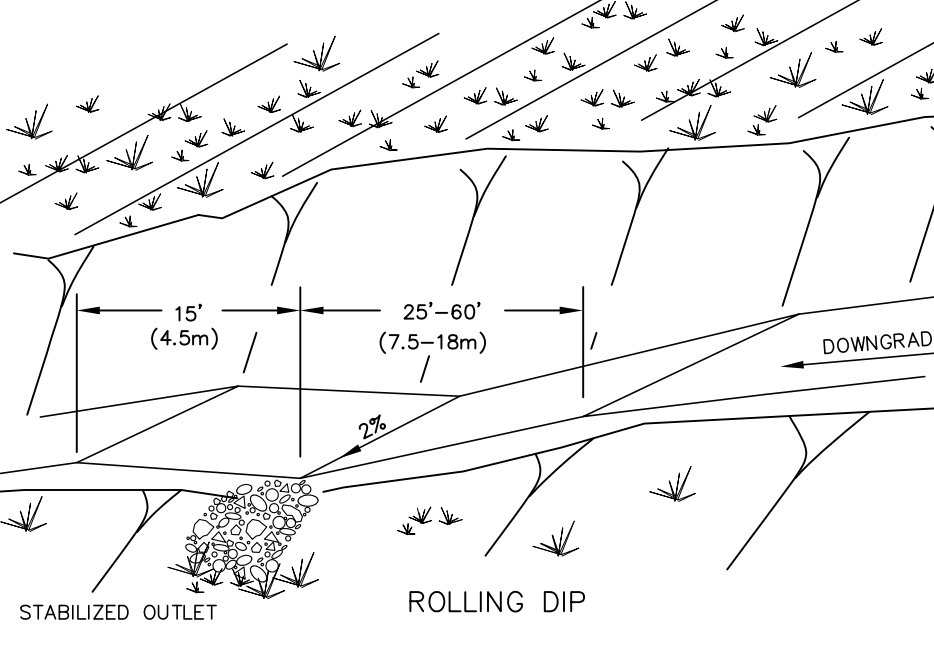


EROSION CONTROL FOR STOCKPILED MATERIAL
N.T.S.

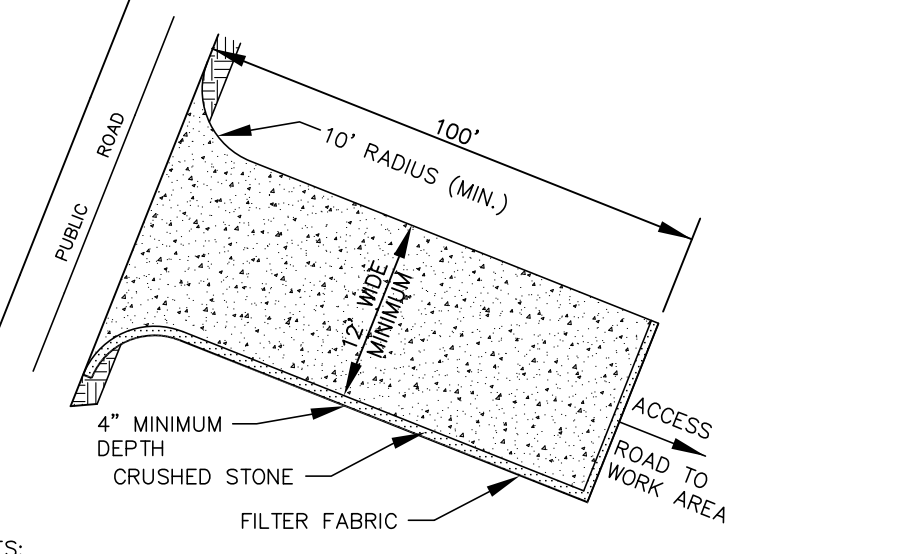


SEDIMENTATION BARRIER INSTALLATION STRAW BALE INSTALLATION
N.T.S.

EROSION CONTROL MULCH LOG DETAILS
N.T.S.

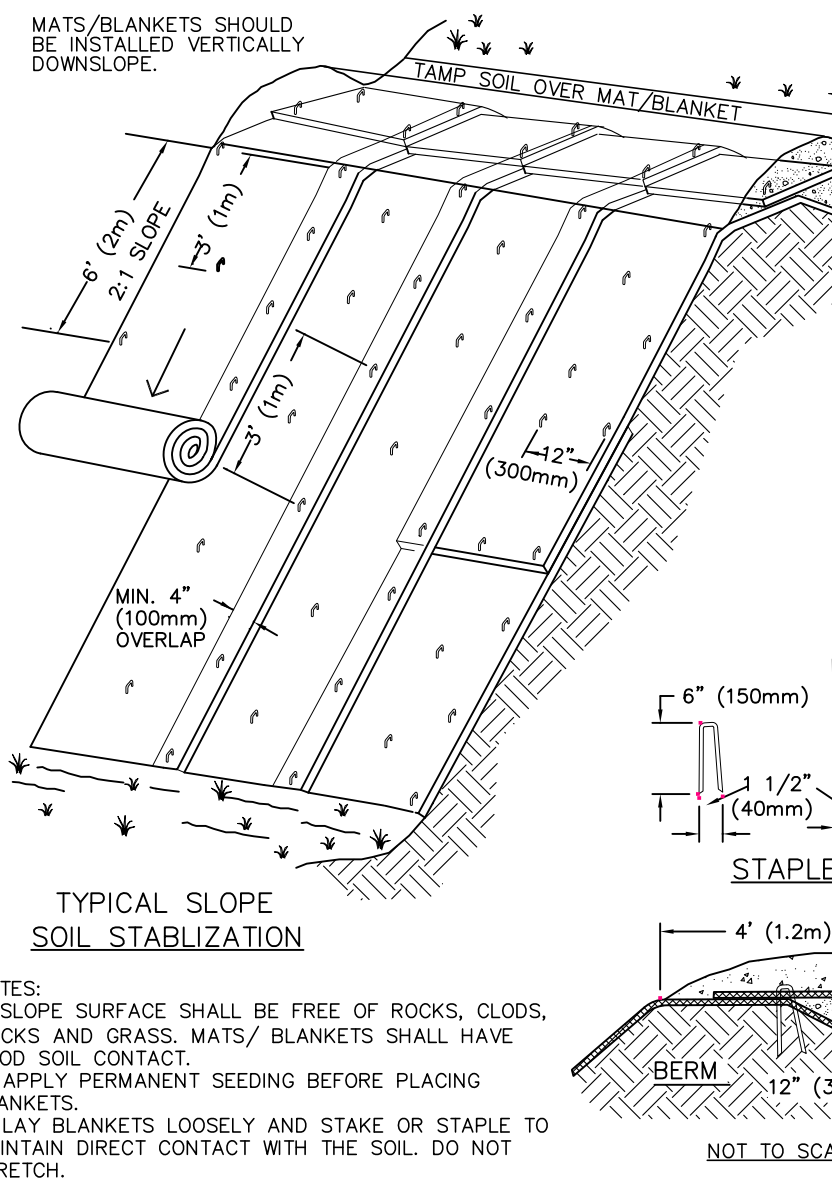


ROLLING DIP AND WATERBAR SECTION
N.T.S.



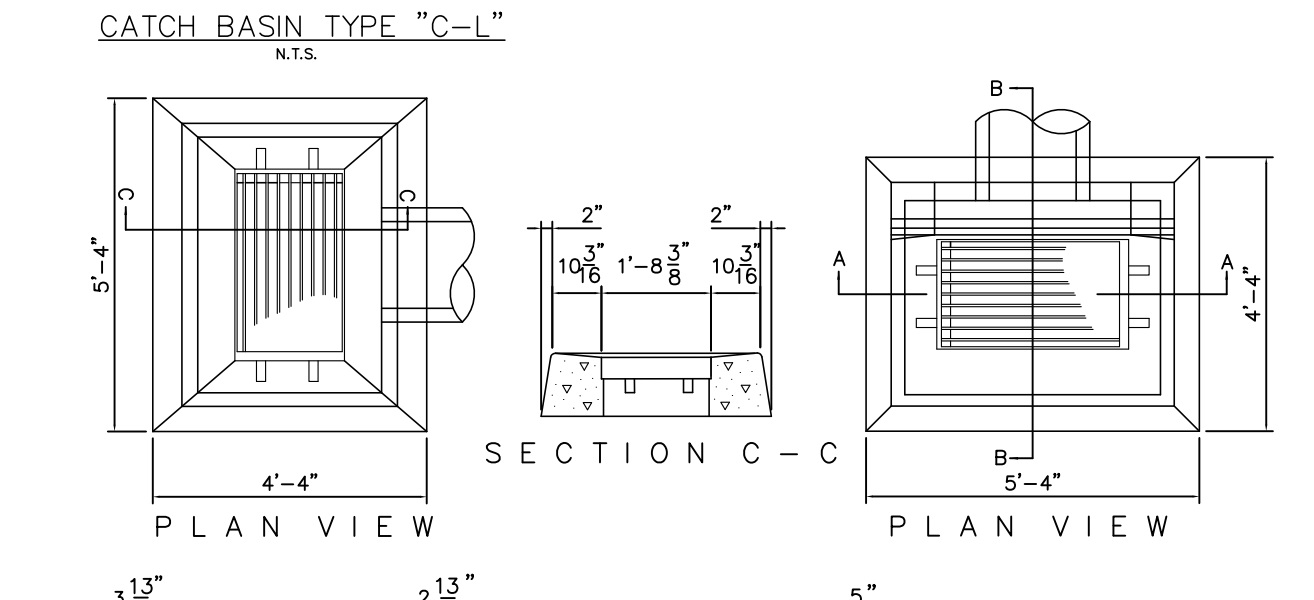
CONSTRUCTION ENTRANCE DETAIL
N.T.S.

NOTES:
- STRIP GROUND, REMOVE TOP SOIL AND ORGANICS PRIOR TO STONE PLACEMENT
- CRUSHED GRAVEL GRADATION SHALL BE DOT NO.3 OR ASTM C-33 NO. 3

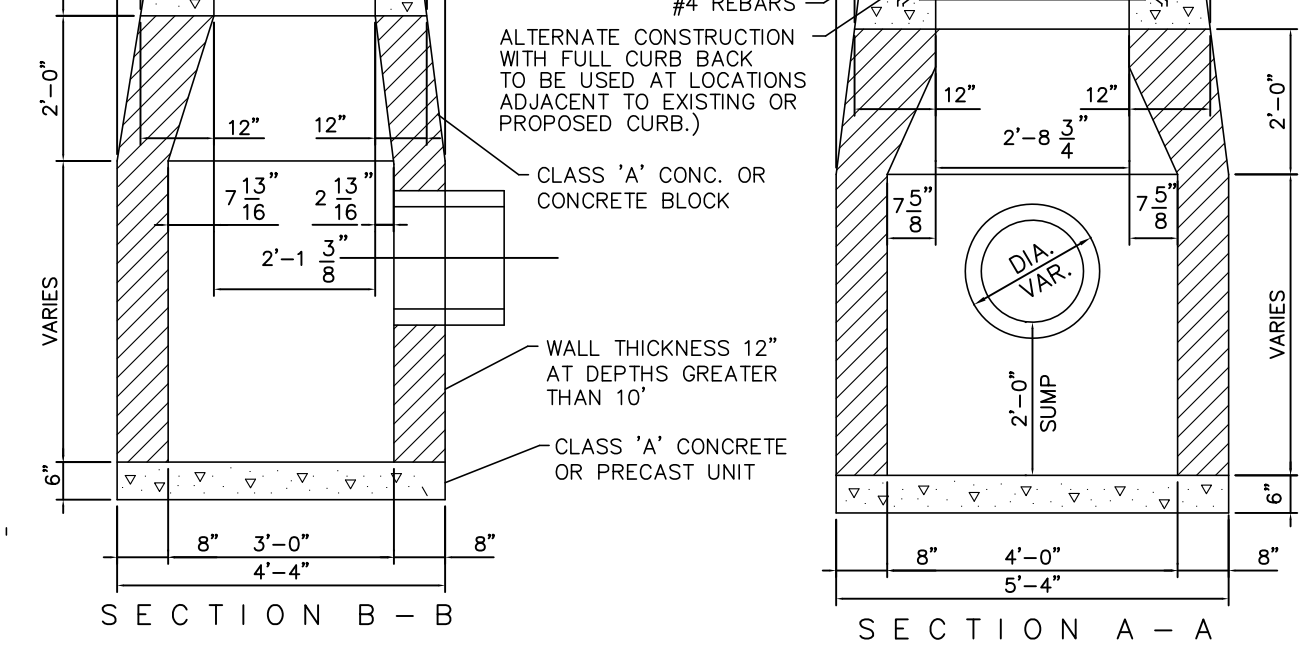


EROSION BLANKETS & TURF REINFORCEMENT MATS SLOPE INSTALLATION
N.T.S.

NOTES:
1. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/ BLANKETS SHALL HAVE GOOD SOIL CONTACT.
2. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
3. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

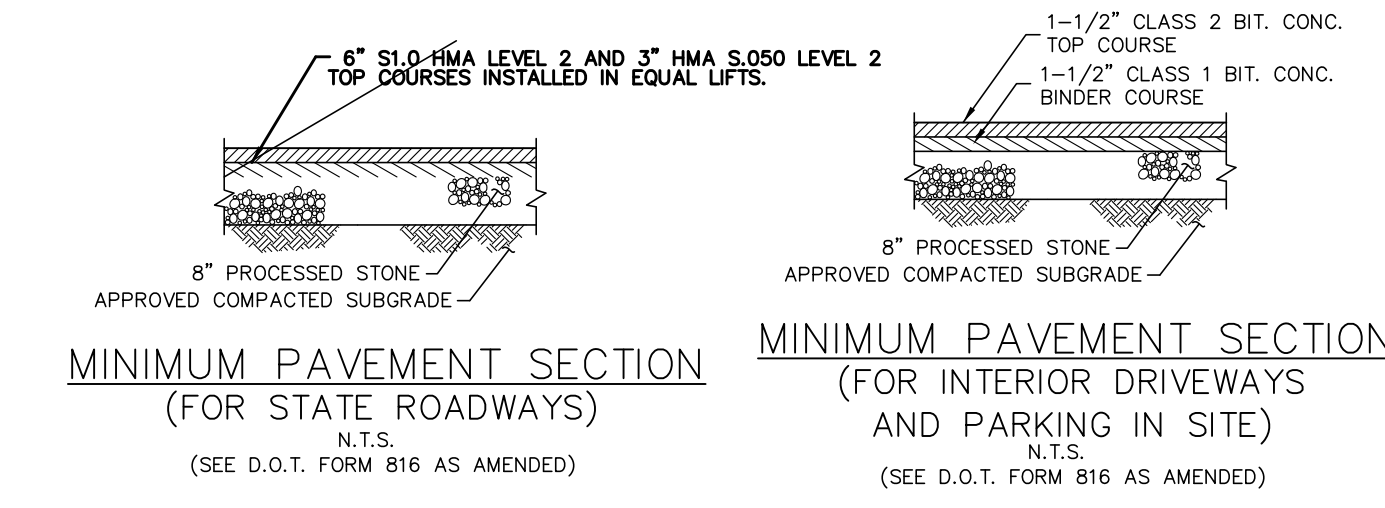


CATCH BASIN TYPE "C-L"
N.T.S.



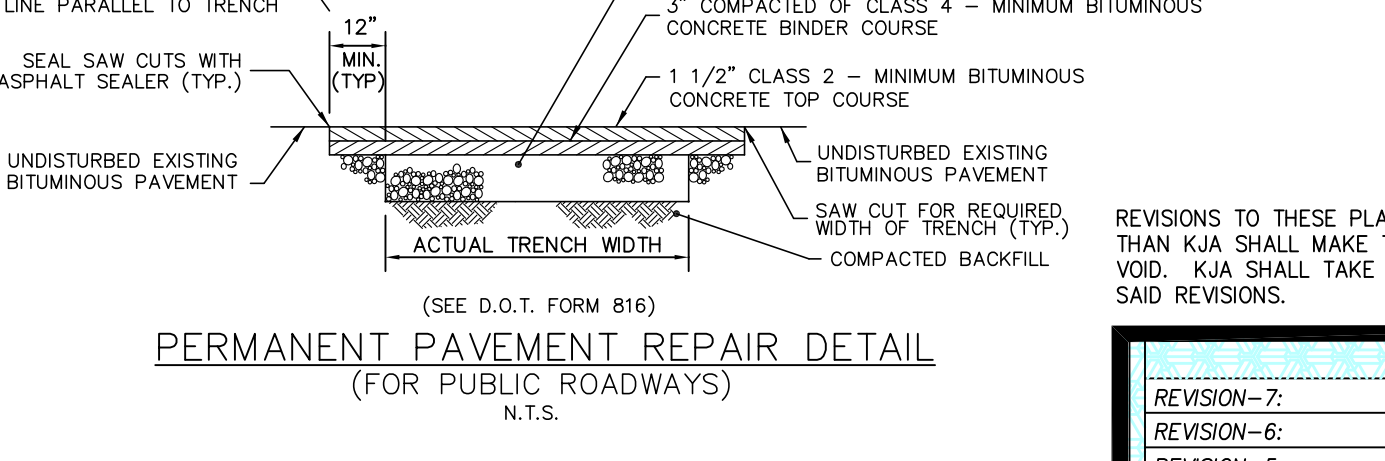
CATCH BASIN TYPE "C" DETAIL
N.T.S.

*ALL CATCH BASINS SHALL BE TO D.O.T. STANDARD PER FORM 818 (AS AMENDED). NO UNNECESSARY KNOCKOUTS WILL BE ALLOWED.



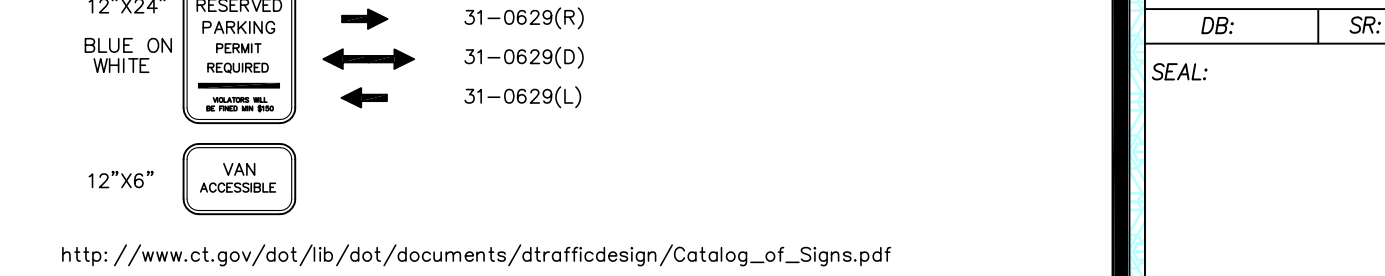
MINIMUM PAVEMENT SECTION (FOR STATE ROADWAYS)
N.T.S.
(SEE D.O.T. FORM 816 AS AMENDED)

MINIMUM PAVEMENT SECTION (FOR INTERIOR DRIVEWAYS AND PARKING IN SITE)
N.T.S.
(SEE D.O.T. FORM 816 AS AMENDED)



PERMANENT PAVEMENT REPAIR DETAIL (FOR PUBLIC ROADWAYS)
N.T.S.

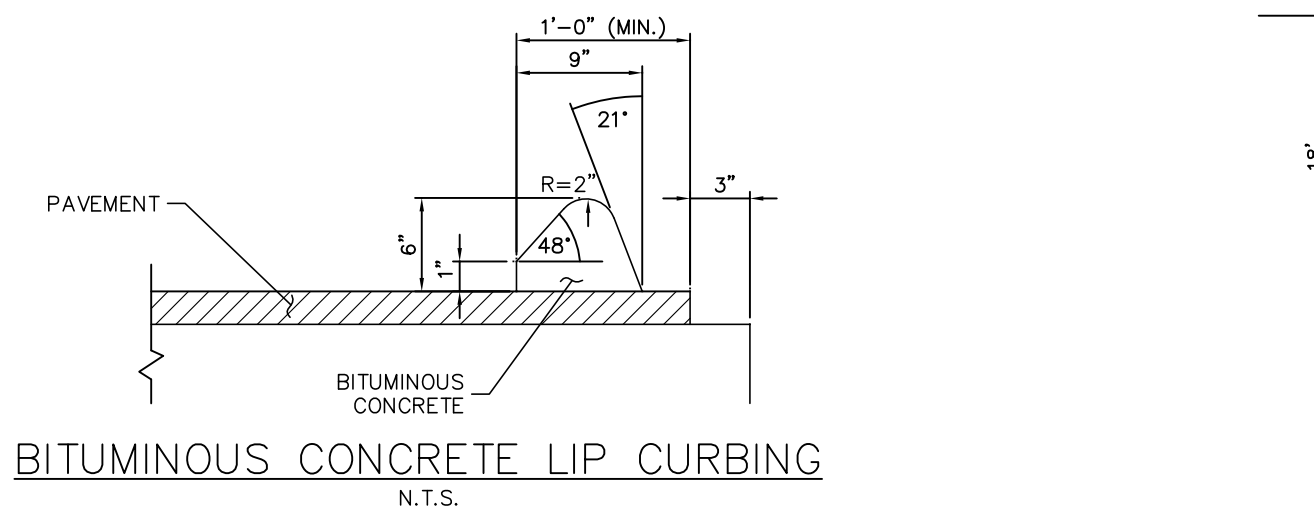
(SEE D.O.T. FORM 816)



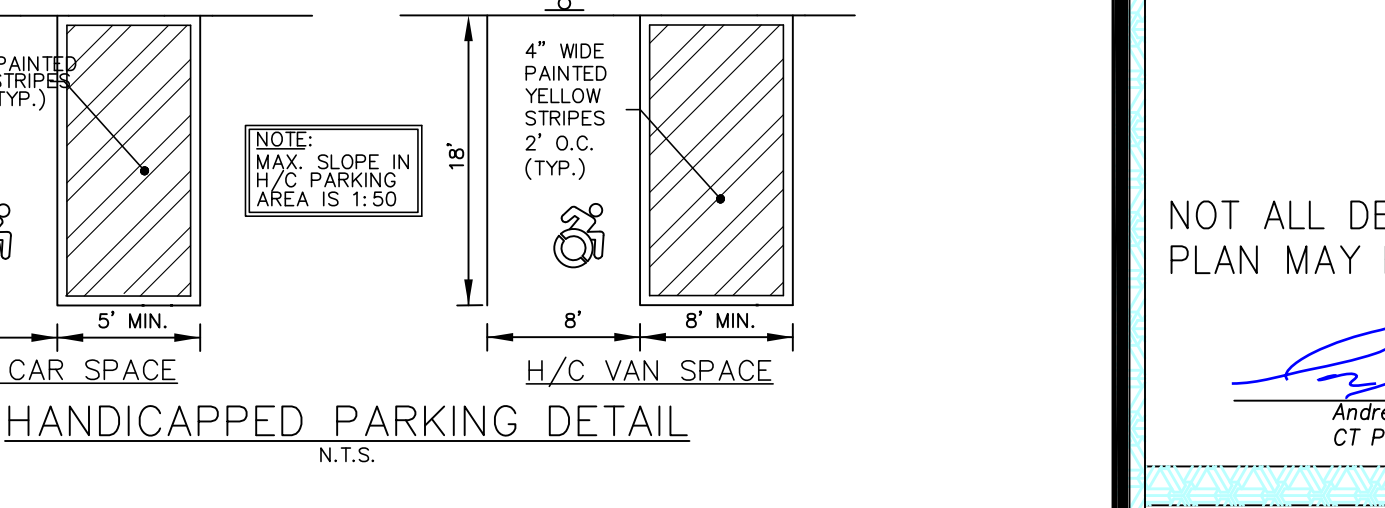
HANDICAPPED PARKING DETAIL
N.T.S.

REGULATORY
NO ARROW 31-0629(P)
RESERVED PARKING PERMIT REQUIRED 31-0629(R)
BLUE ON WHITE 31-0629(D)
VAN ACCESSIBLE 31-0629(L)

NOTE: MAX. SLOPE IN H/C PARKING AREA IS 1:50



BITUMINOUS CONCRETE LIP CURBING
N.T.S.



NOT ALL DETAILS ON THIS PLAN MAY BE APPLICABLE

Andrew J. Quirk
CT P.E. #22588

REVISION-7:
REVISION-6:
REVISION-5:
REVISION-4:
REVISION-3:
REVISION-2:
REVISION-1:
PROJECT: 223122-NEWPORT
DR: SR: DR:
SCALE:

NOT ALL DETAILS ON THIS PLAN MAY BE APPLICABLE

Andrew J. Quirk
CT P.E. #22588

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PHONE: (860) 621-3638
FAX: (860) 621-9609
EMAIL: INFO@KRATZERTJONES.COM

SITE DETAILS

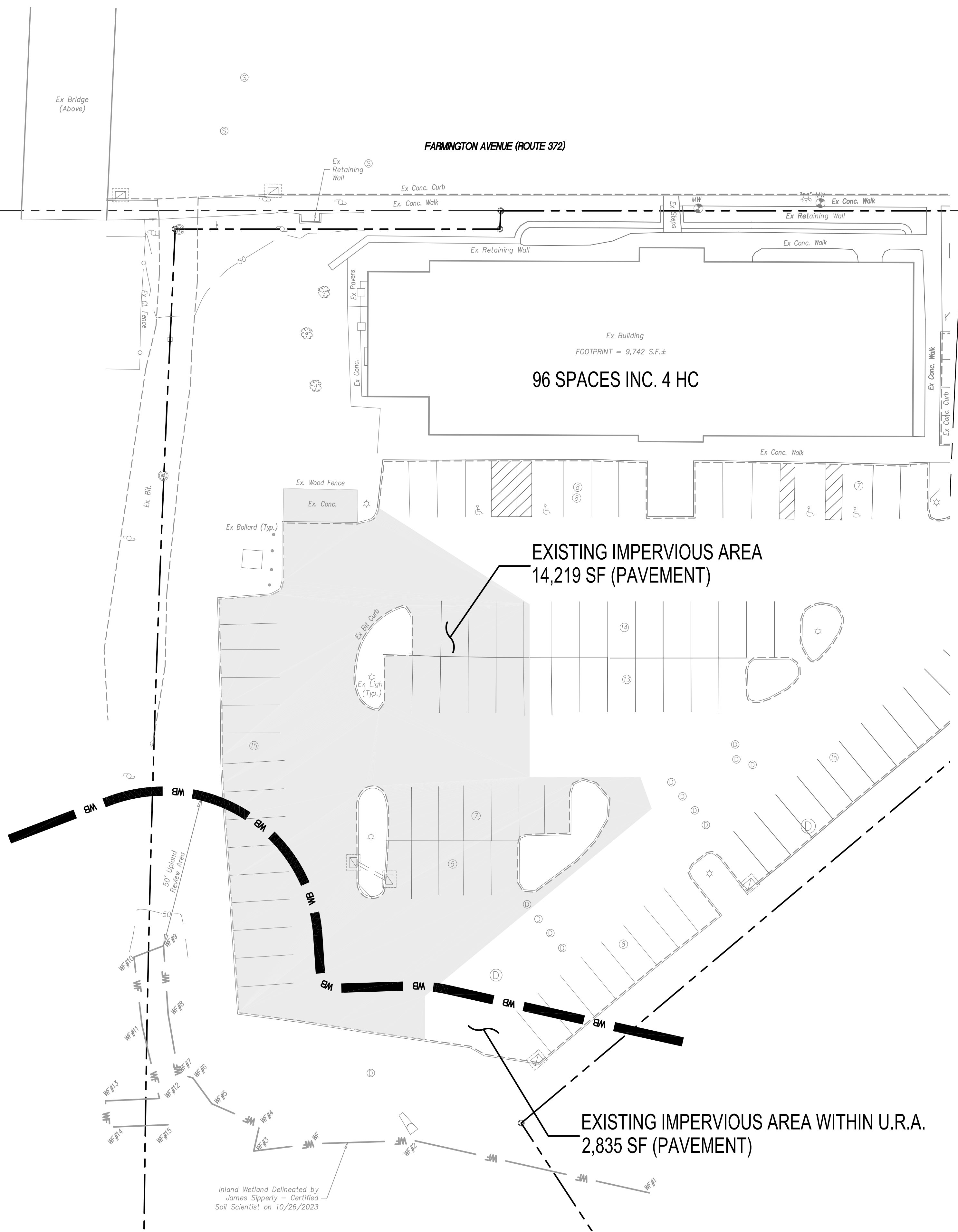
for
NEWPORT 848 FARMINGTON AVE LLC

848 FARMINGTON AVENUE
BERLIN, CT

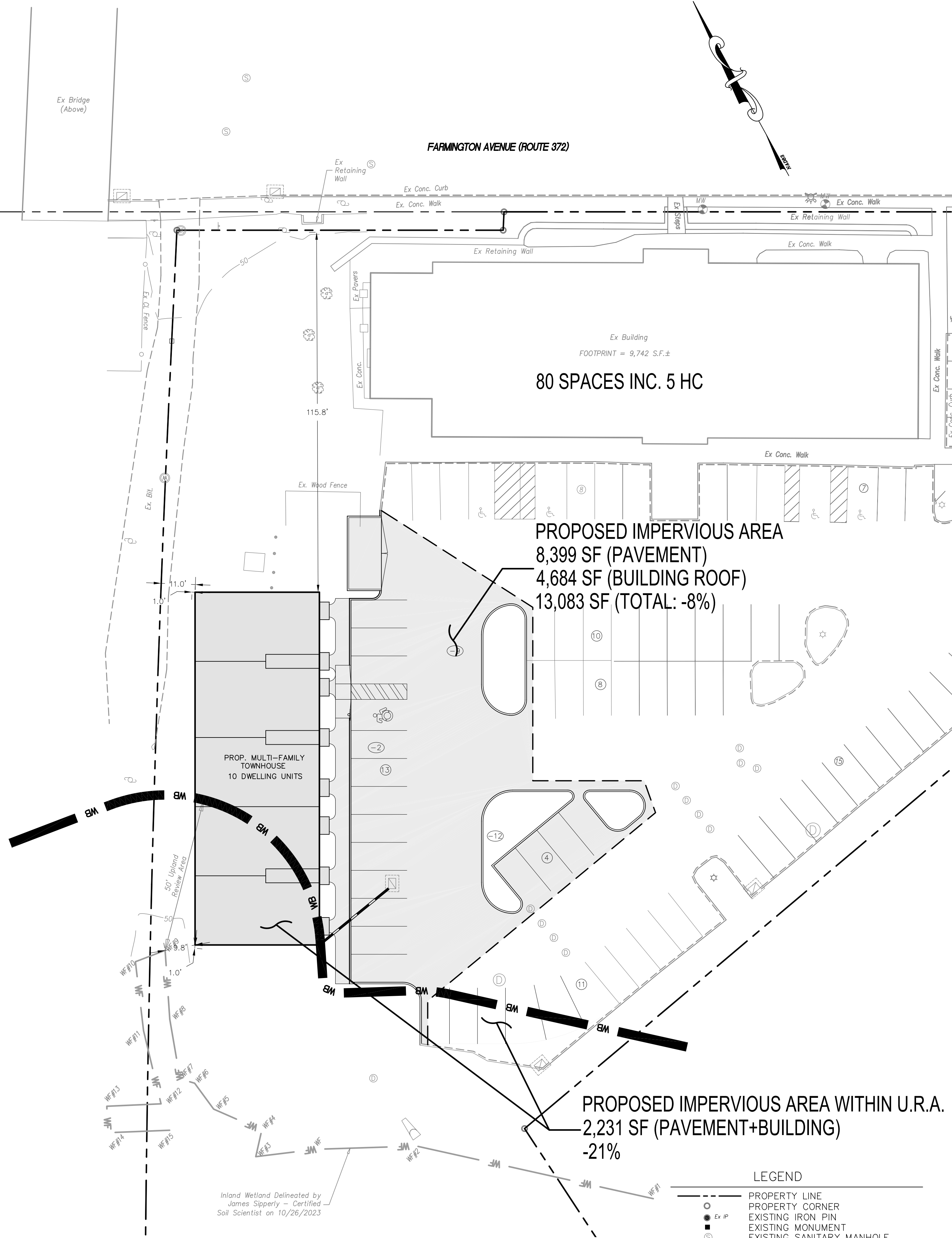
SCALE: AS NOTED
DATE: AUGUST 27, 2024

HALF	ONE INCH	TWO INCH
INCHES ON ORIGINAL		

KJA FILE NO.: 223122-NEWPORT
DRAWING NO.: 223-123
D-1



EXISTING CONDITIONS



PROPOSED CONDITIONS

Disclaimer:
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REVISION-7:		
REVISION-6:		
REVISION-5:		
REVISION-4:		
REVISION-3:		
REVISION-2:		
REVISION-1:		
PROJECT:		

DB:JG SR:EF DR:---

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Andrew J. Quirk
CT P.E. #22588

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jones &
associates, inc.
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**IMPERVIOUS
COVERAGE
COMPARISON**

for
**NEWPORT 848
FARMINGTON AVE
LLC**

**848 FARMINGTON AVENUE
BERLIN, CT**

SCALE: 1" = 20'
DATE: AUGUST 27, 2024

HALF	ONE INCH	TWO INCH
INCHES ON ORIGINAL		

KJA FILE NO. : DRAWING NO. :
223-123 Z-1

LEGEND

○	PROPERTY LINE
●	PROPERTY CORNER
⊙	EXISTING IRON PIN
⊕	EXISTING MONUMENT
⊗	EXISTING SANITARY MANHOLE
⊘	EXISTING STORM MANHOLE
⊙	EXISTING CATCH BASIN
⊙	EXISTING LIGHT
⊙	EXISTING HYDRANT
⊙	EXISTING GAS VALVE
⊙	EXISTING WATER VALVE
⊙	EXISTING UTILITY POLE
---	EX. EDGE OF ROAD
---	EX. EDGE OF BIT CURB
---	EX. EDGE OF CONC CURB
---	EX. SANITARY SEWER LINE
---	EX. WATER LINE
---	EX. GUIDE RAIL
---	EX. CONTOUR
⊙	EX. WELL